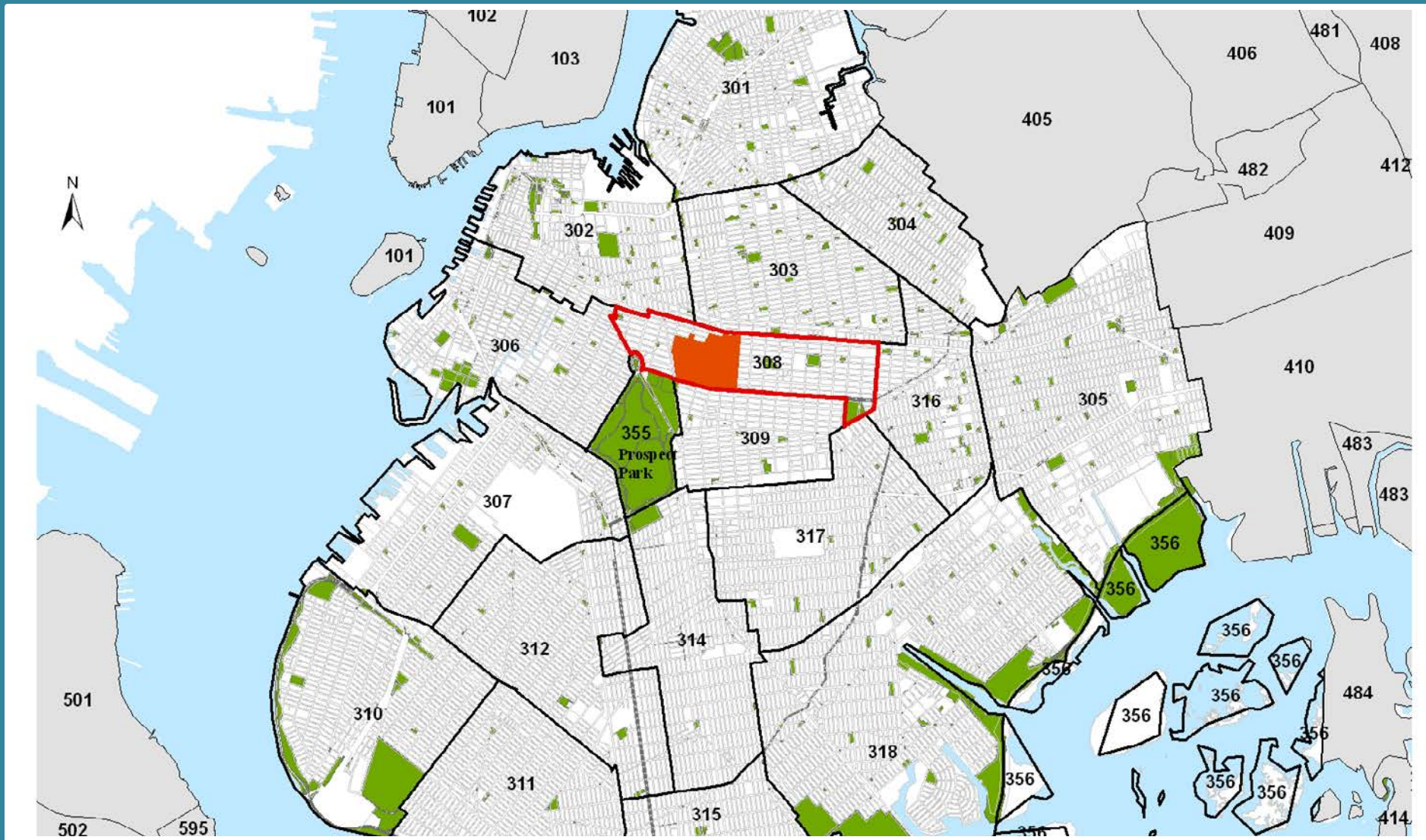


Crown Heights West Rezoning Study

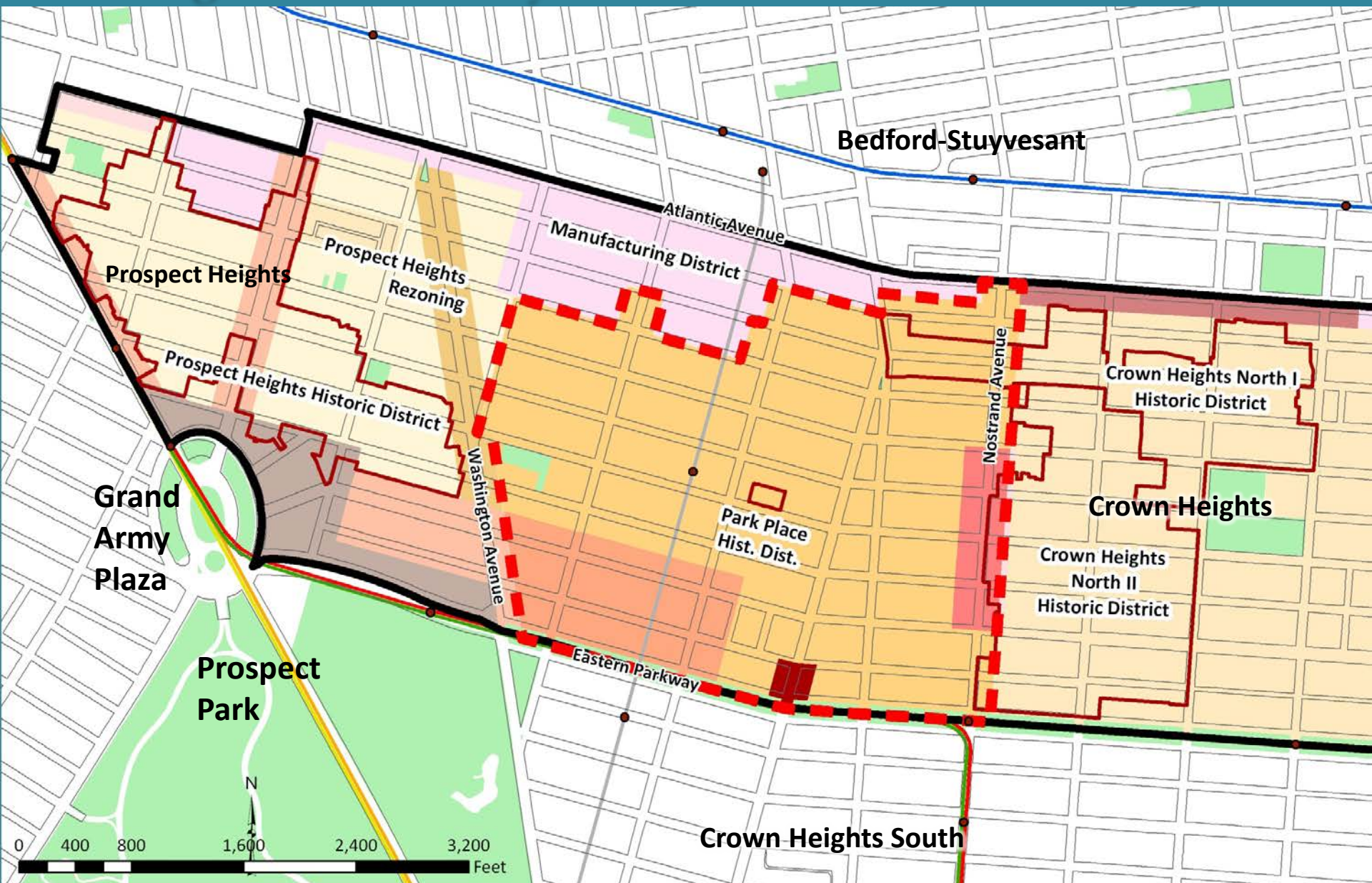


Location



Crown Heights West Rezoning

Rezoning Area Boundary

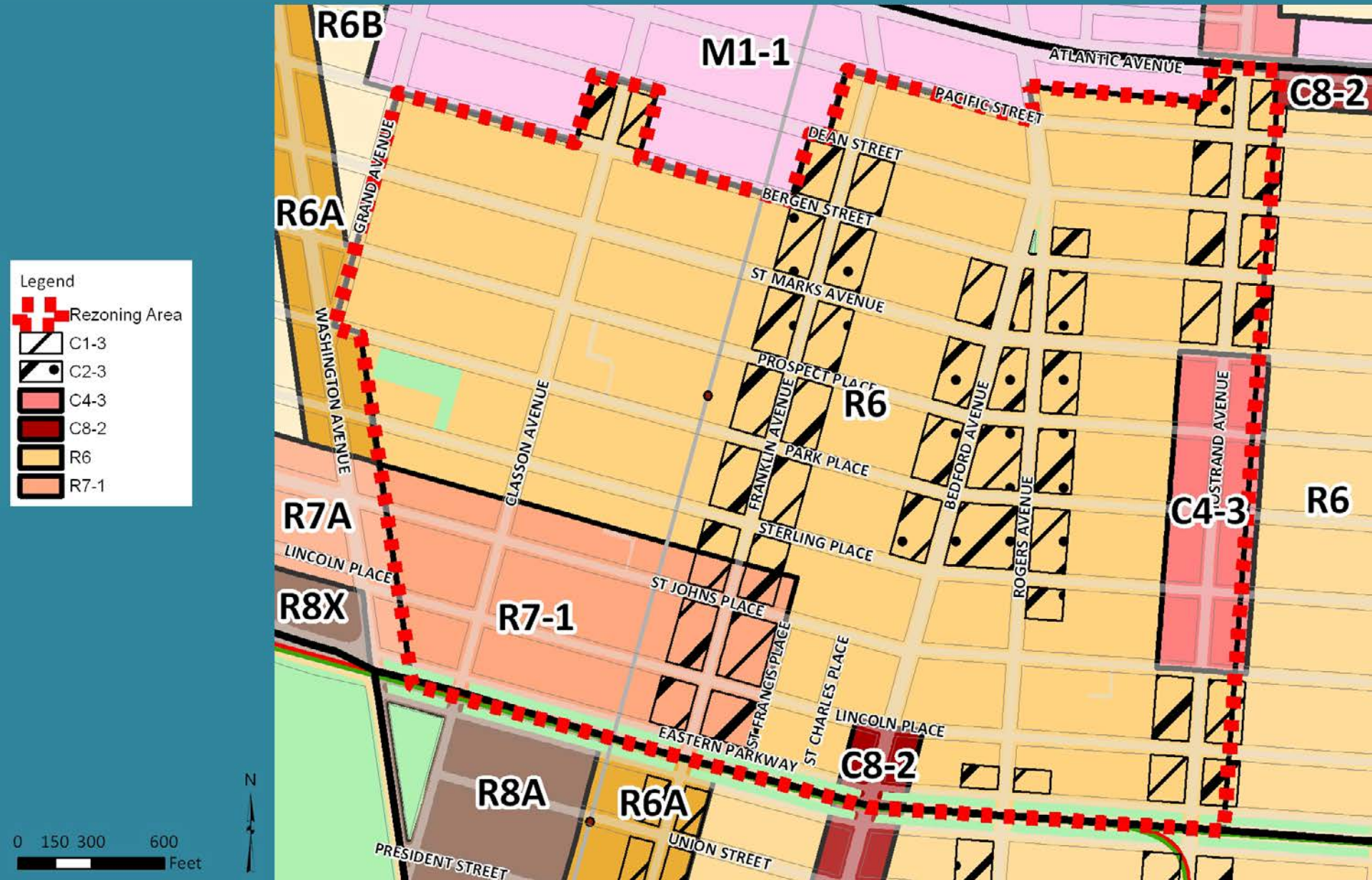


Crown Heights West Rezoning

Goals of the Rezoning Study

- Maintain the existing scale and character of the neighborhood
- Create incentives for development of affordable housing
- Match commercial zoning to retail character

Existing Zoning



Crown Heights West Rezoning

Existing Character

Existing Character

Character of R6 Residential District - Low-rise row houses



Park Place between Bedford and Franklin Avenues

Existing Character

Character of R6 Residential District - Multi-storied brownstones



St. Marks between Franklin and Bedford Avenues

Existing Character

Character of R6 Residential District - Multi-storied row houses



Existing Character

Character of R6 Residential District - Small Apartment Buildings



Park Place near Franklin Ave. Shuttle

Existing Character

Character of R6 Residential District - Non-Contextual Buildings



Bergen Street between Classon and Grand Ave.

Existing Character

Character of R6 Residential District - Non-Contextual Buildings



Sterling Place between Nostrand and Rogers Ave.

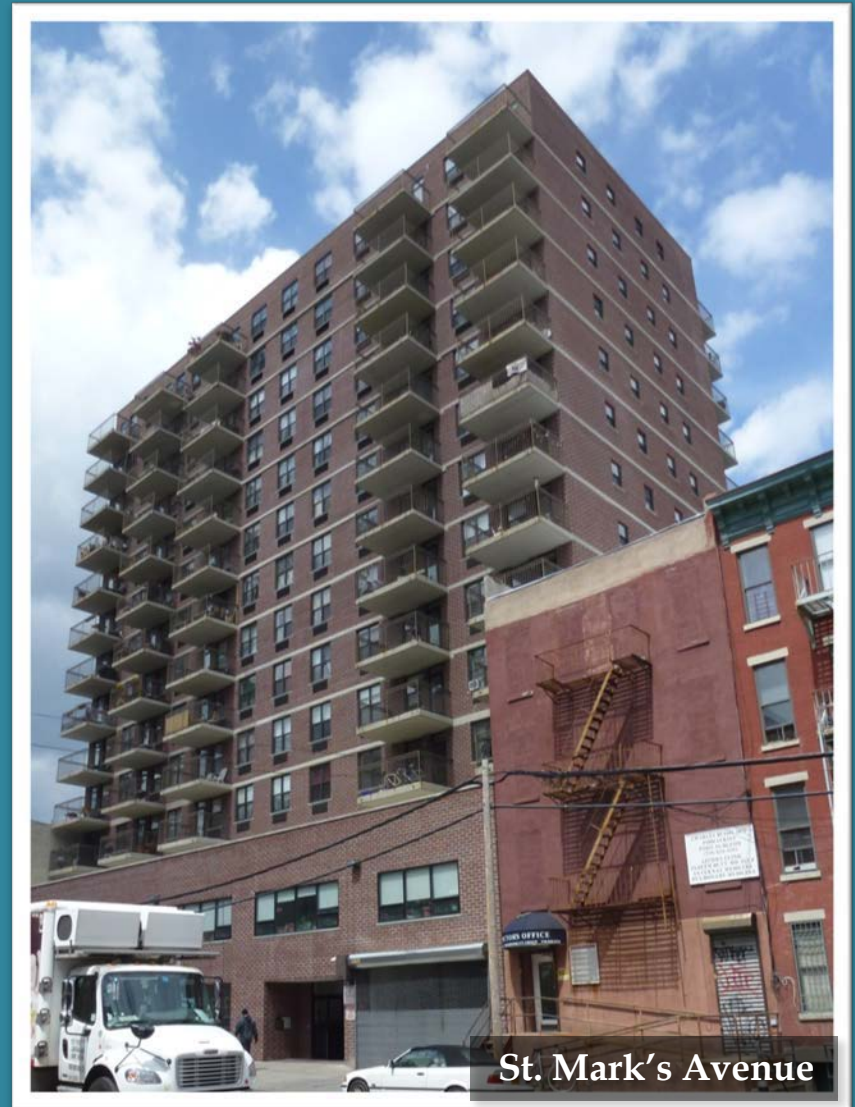
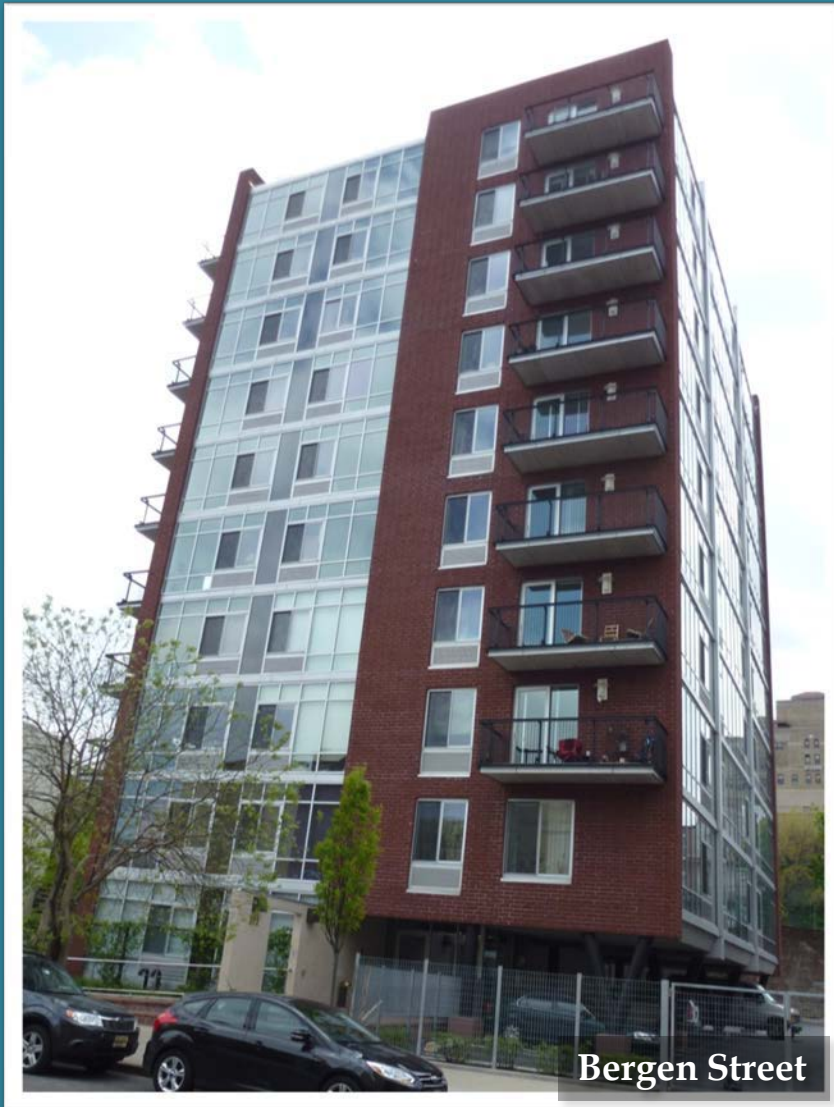
Existing Character

Character of R6 Residential District - Non-contextual buildings



Existing Character

Character of R6 Residential District - Non-Contextual Buildings



Existing Character

Character of R7-1 Residential District



Existing Character

Character of R6 Residential District - Community facility



Existing Character

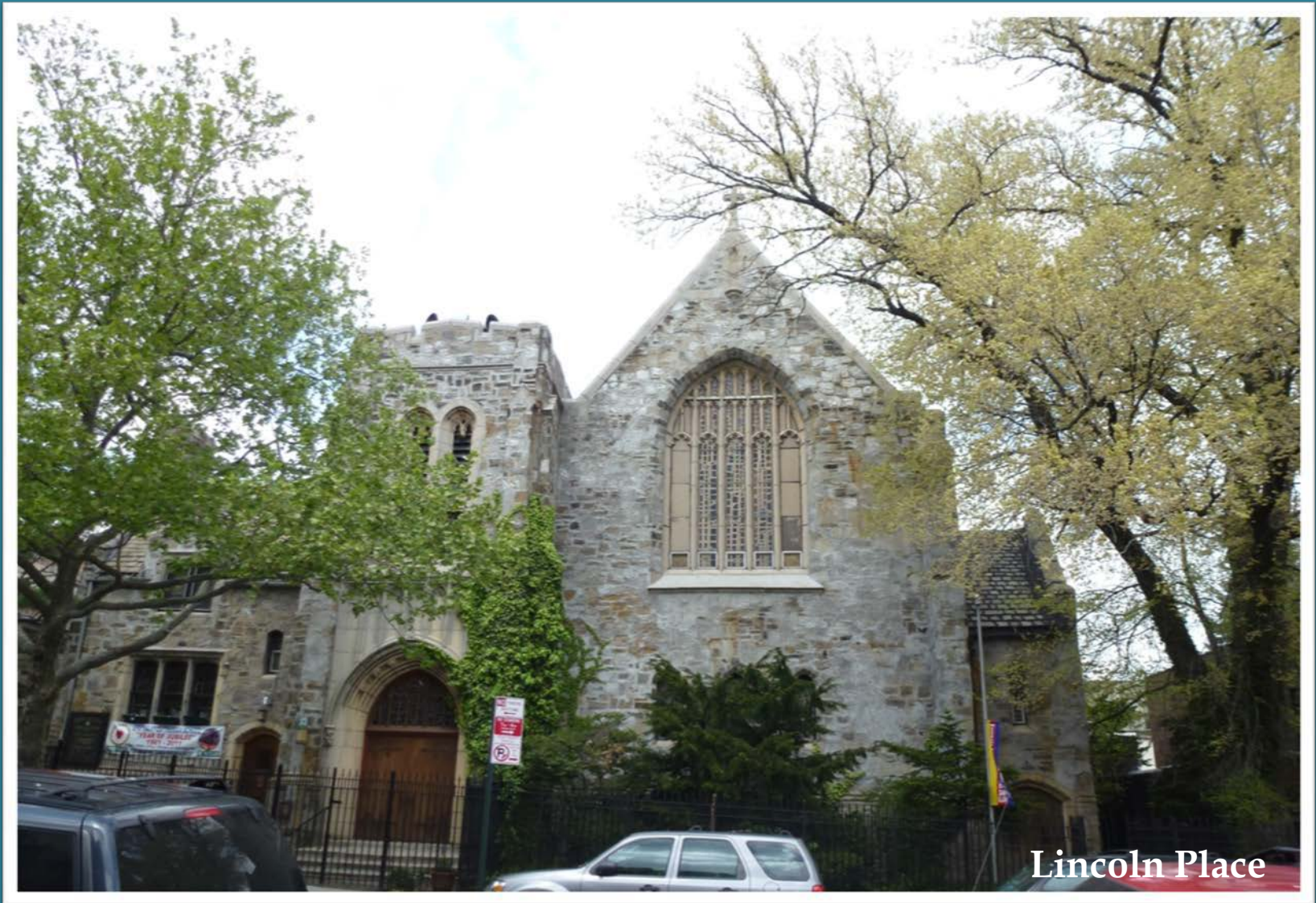
Character of R6 Residential District - Community facility



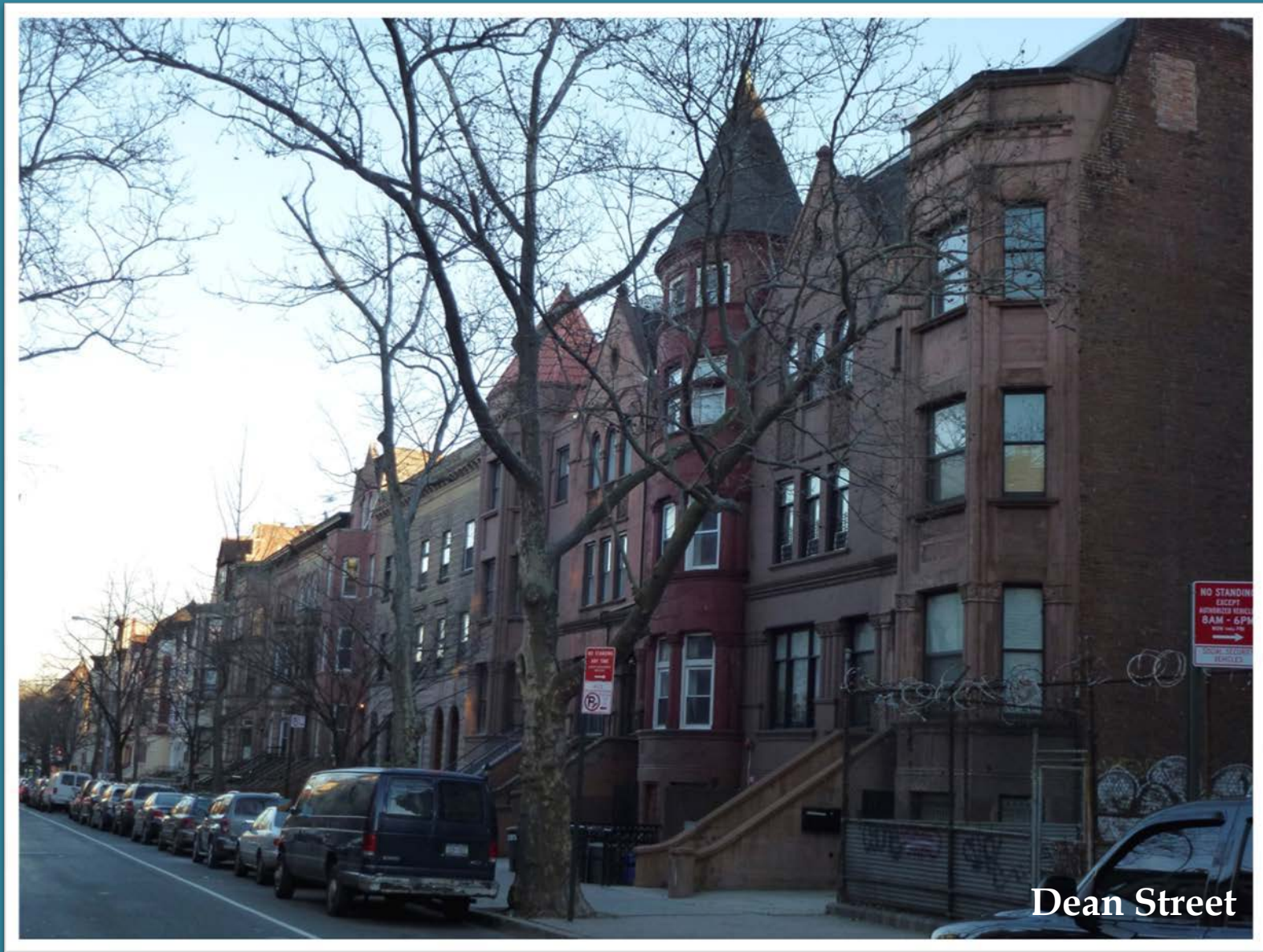
Classon Ave at Sterling Place

Existing Character

Character of R6 Residential District - Community facility



Historic Character - Crown Heights North I Historic District



Crown Heights West Rezoning

Historic Character - Crown Heights North II Historic District



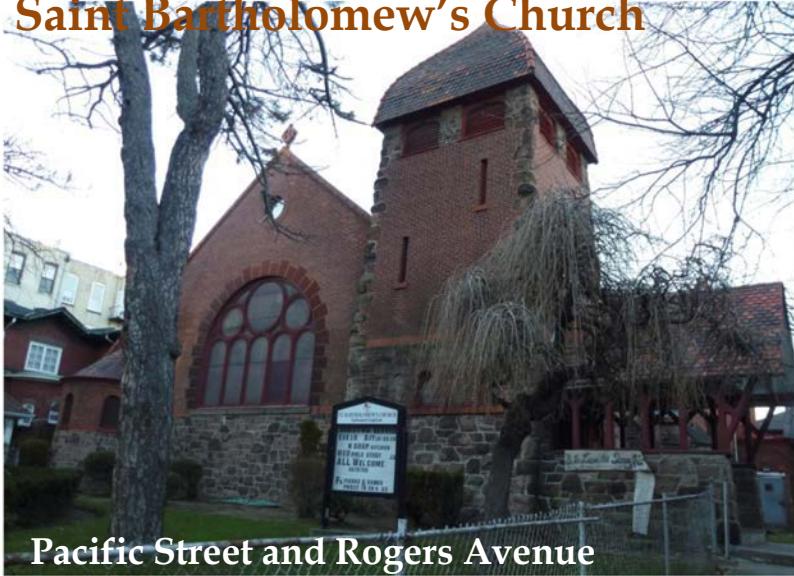
Historic Character - Park Place Historic District



Park Place between Franklin and Bedford Avenues

Historic Character - NYC Landmarks

Saint Bartholomew's Church



Pacific Street and Rogers Avenue

Imperial Apartments



Pacific Street and Rogers Avenue



Studebaker Building

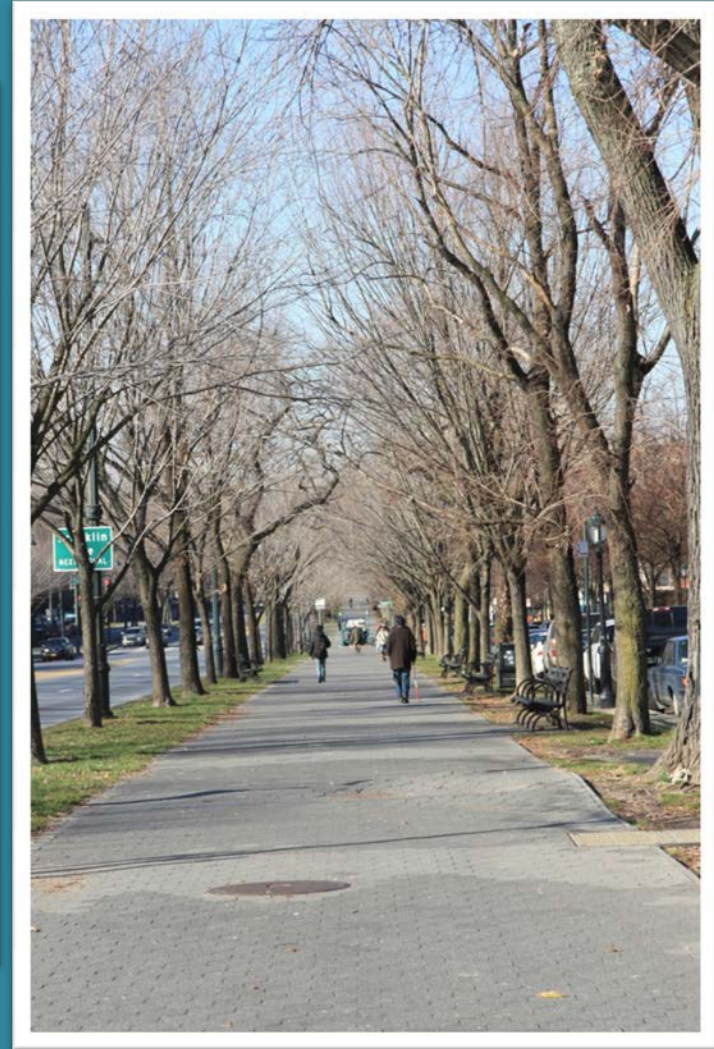
1942 Photo:
Museum of the
City of New York



Bedford Avenue at Sterling Street

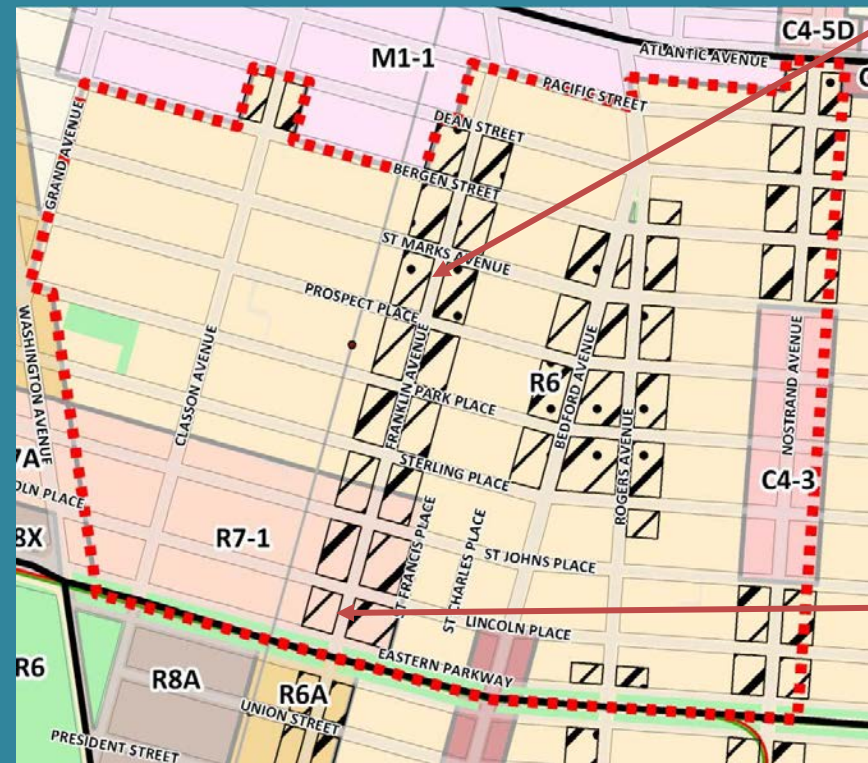
Historic Character - Scenic Landmark

Eastern Parkway



Existing Character - Commercial Areas

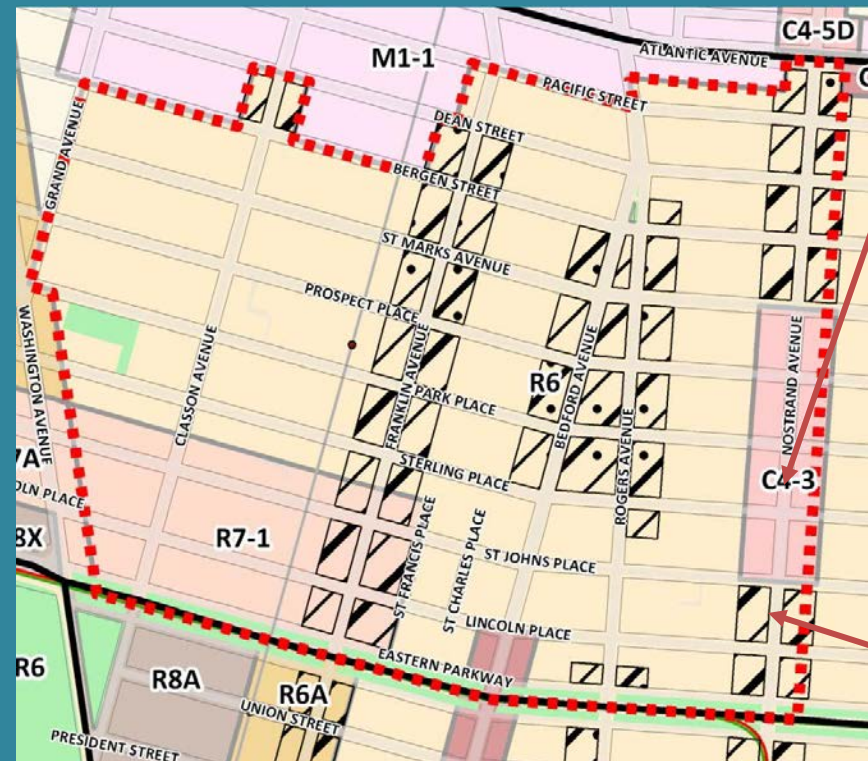
Franklin Avenue



Crown Heights West Rezoning

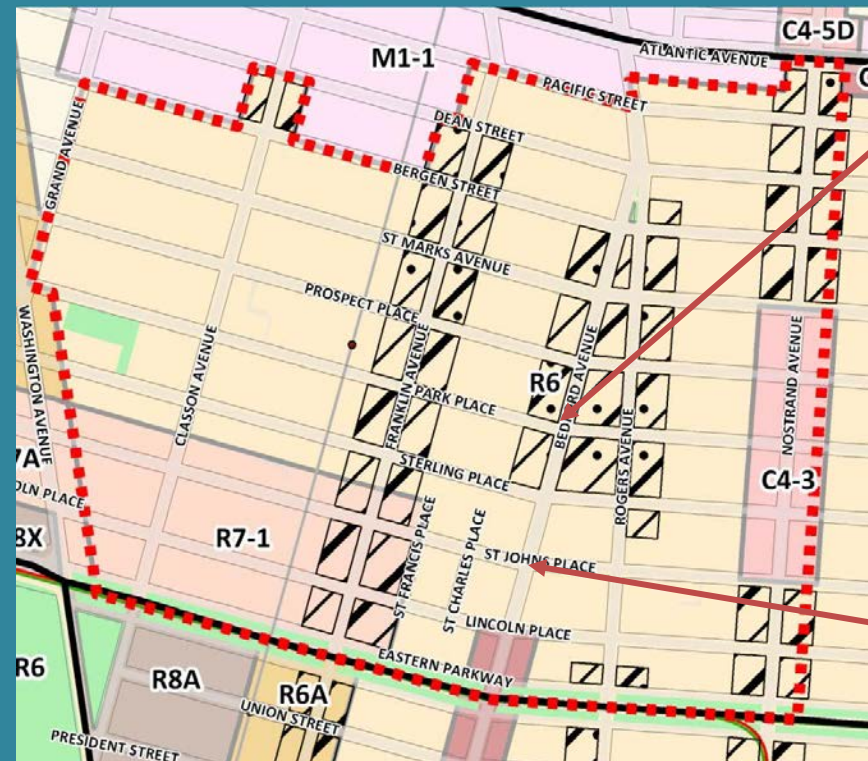
Existing Character - Commercial Areas

Character of Nostrand Avenue



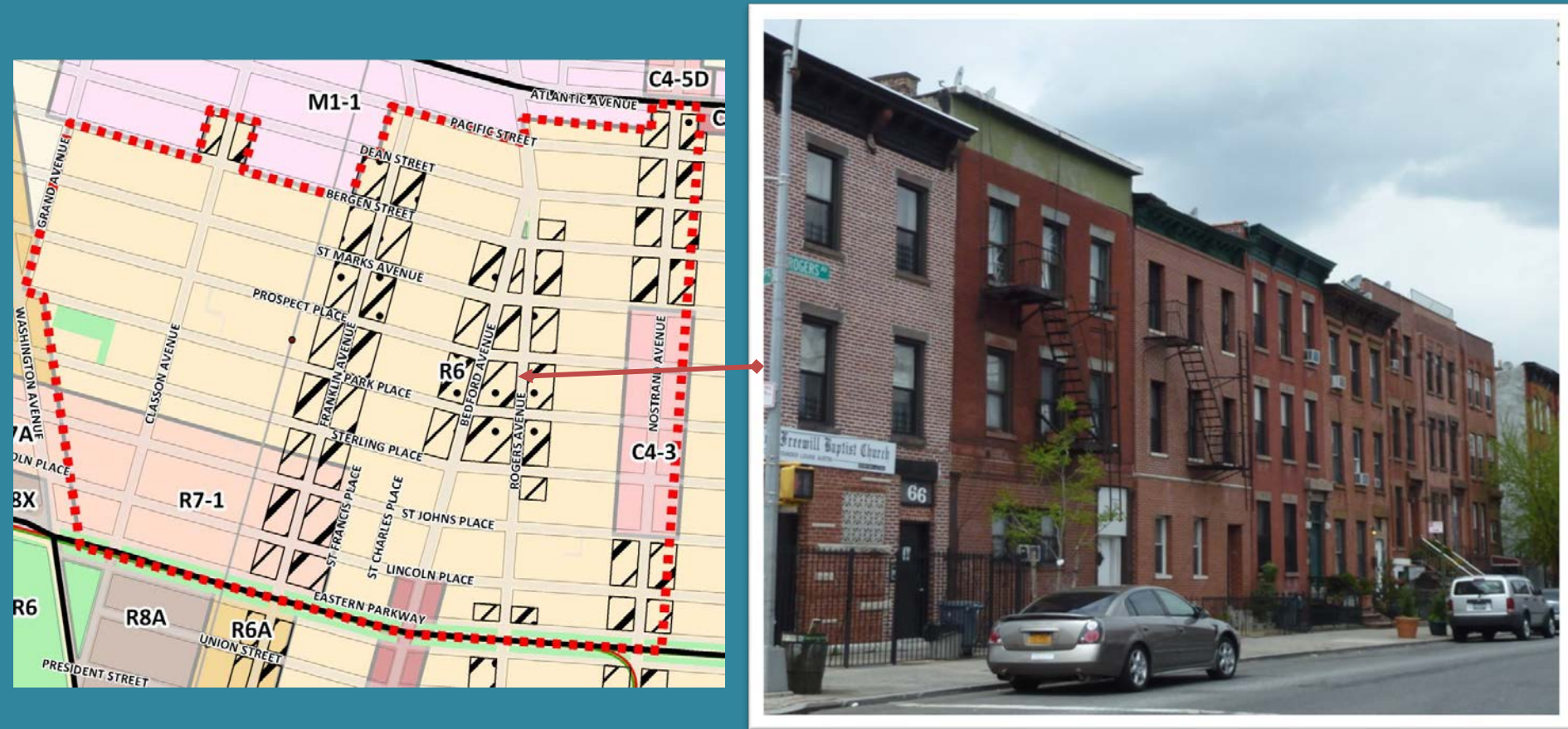
Existing Character

Character of Bedford Avenue



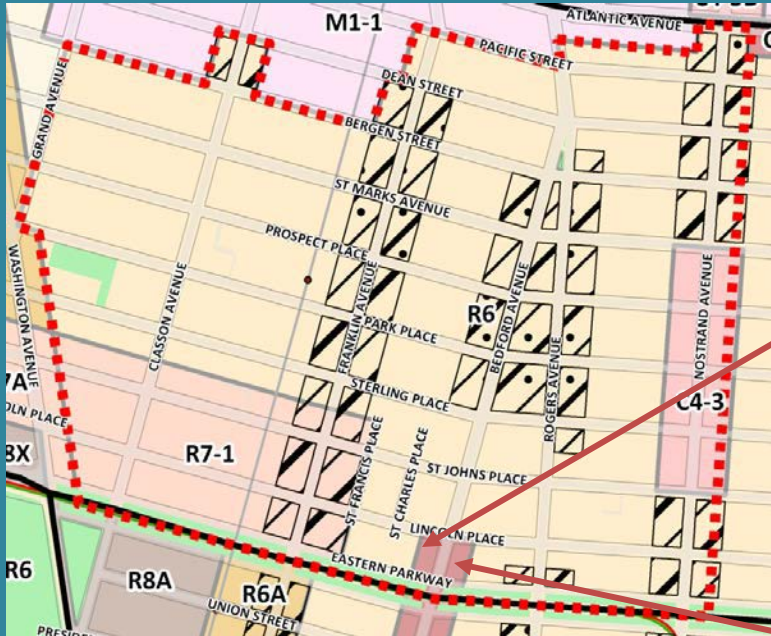
Existing Character

Character of Rogers Avenue

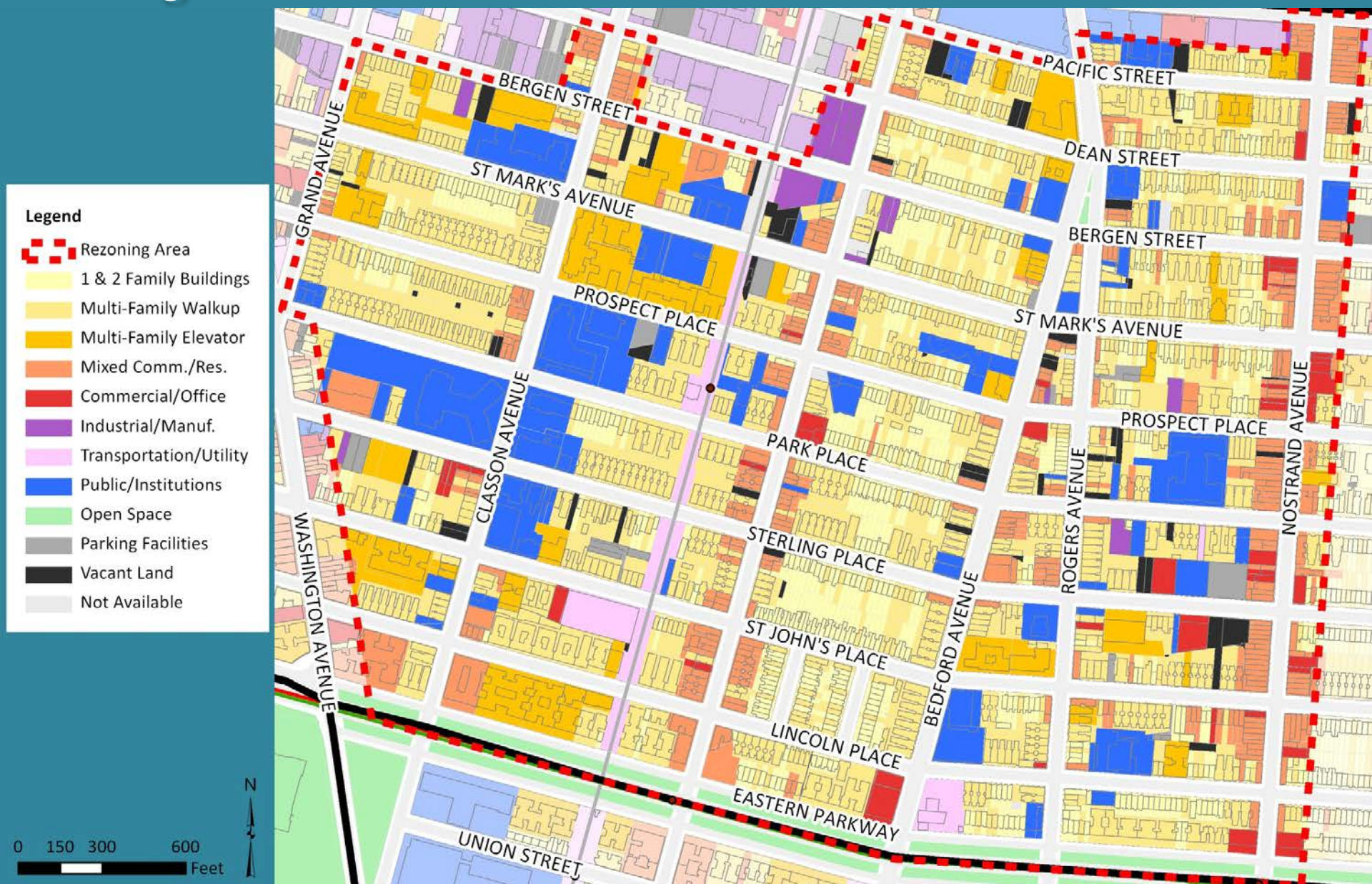


Existing Character

C8-2 Commercial District at intersection of Bedford Ave. and Eastern Pkwy.



Existing Land Use



Crown Heights West Rezoning

Floor Area Ratio



Crown Heights West Rezoning

Number of Floors



Crown Heights West Rezoning

Existing Zoning

Existing Zoning

Residential

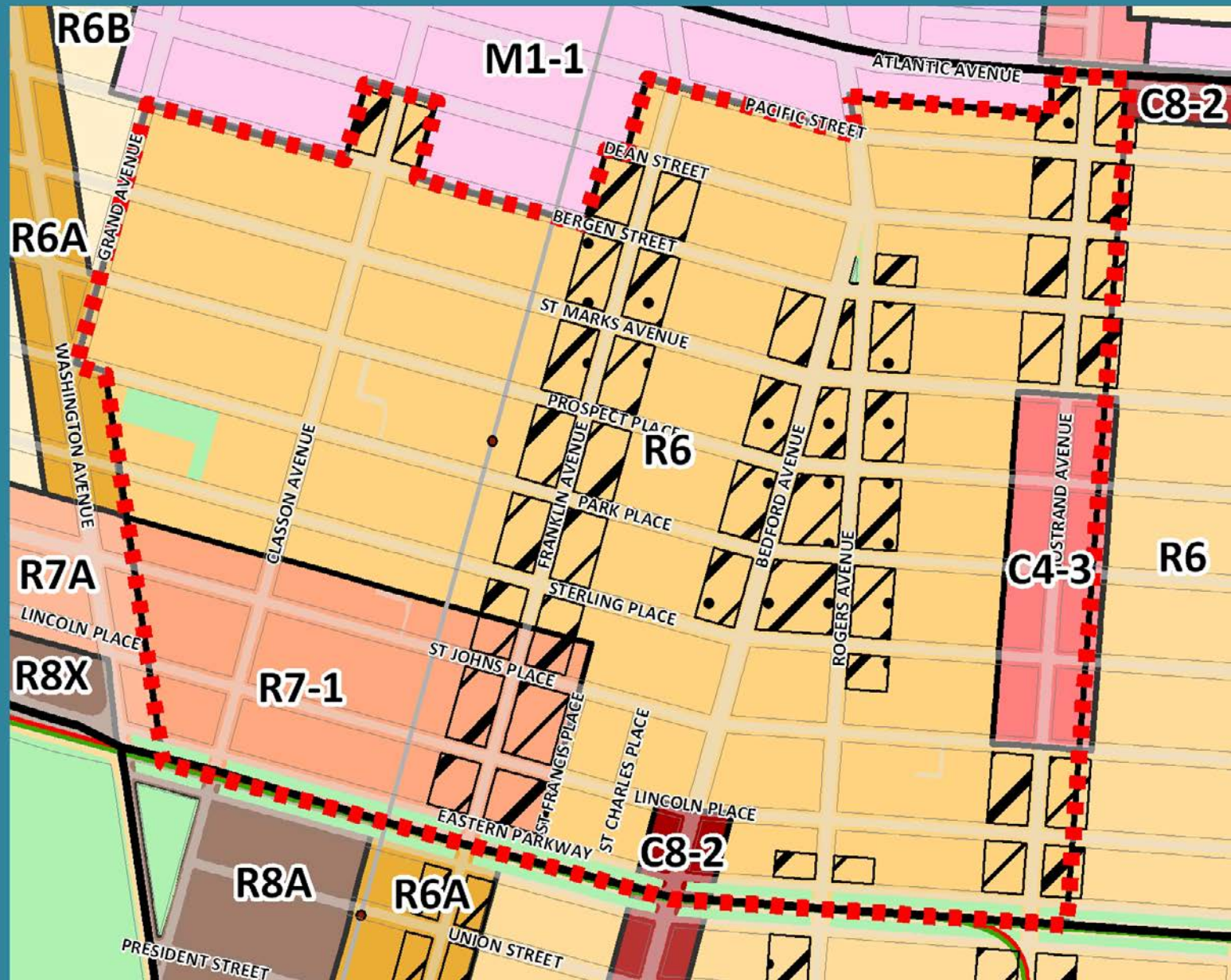
- R6
- R7-1

Commercial

- C4-3
- C8-2

Commercial Overlays

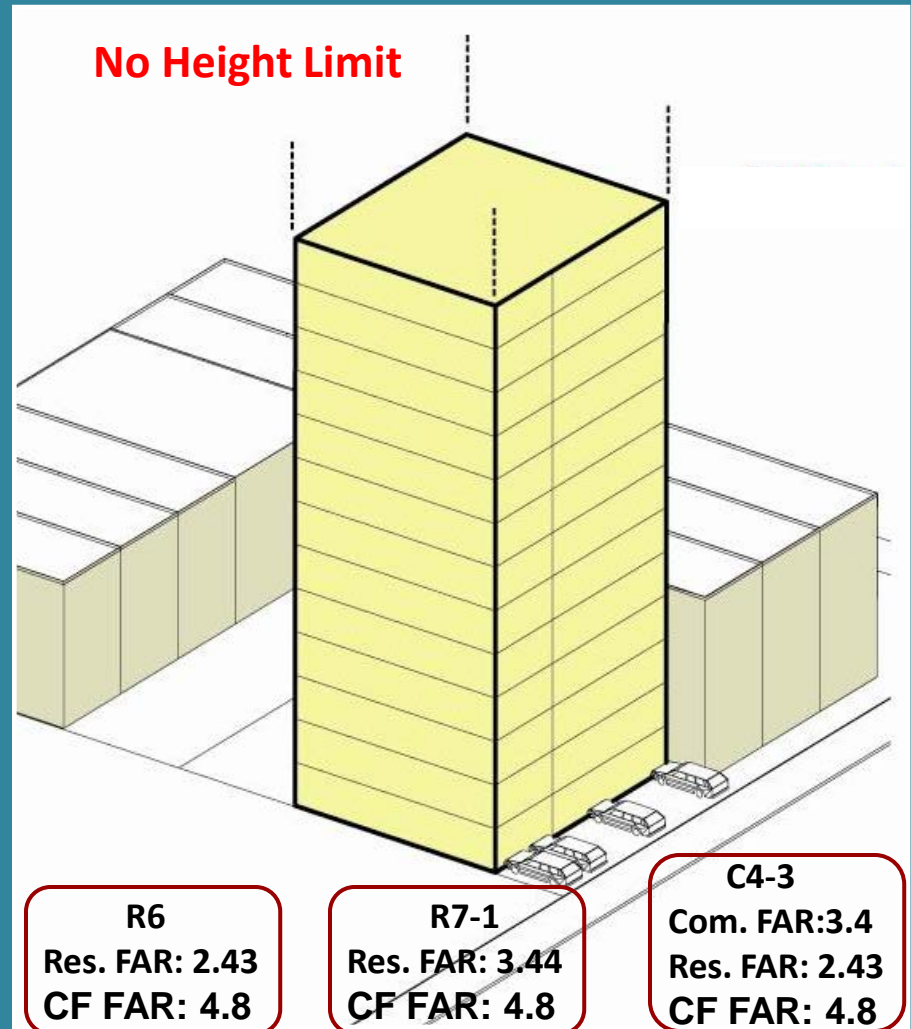
- C1-3
- C2-3



Existing Zoning: R6, R7-1 and C4-3 Height Factor

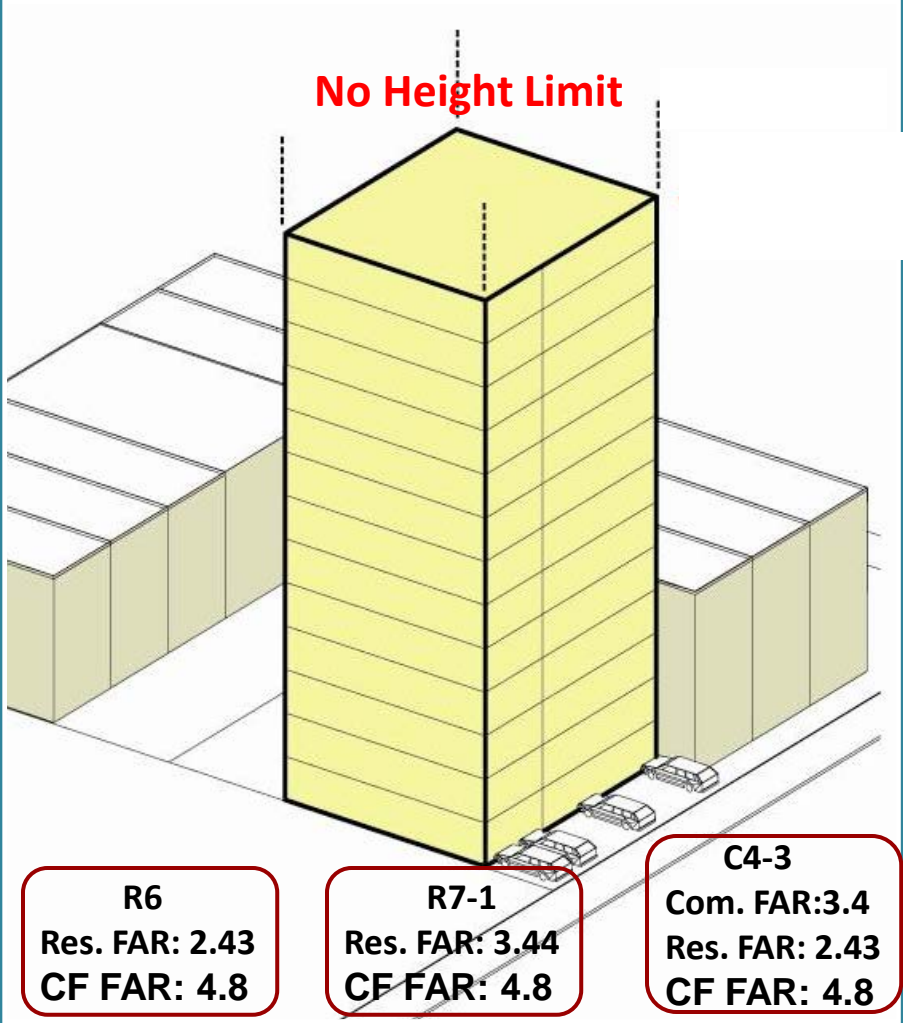
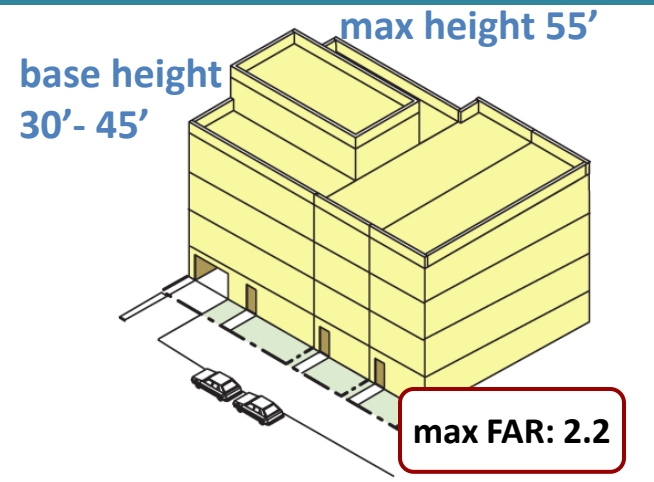
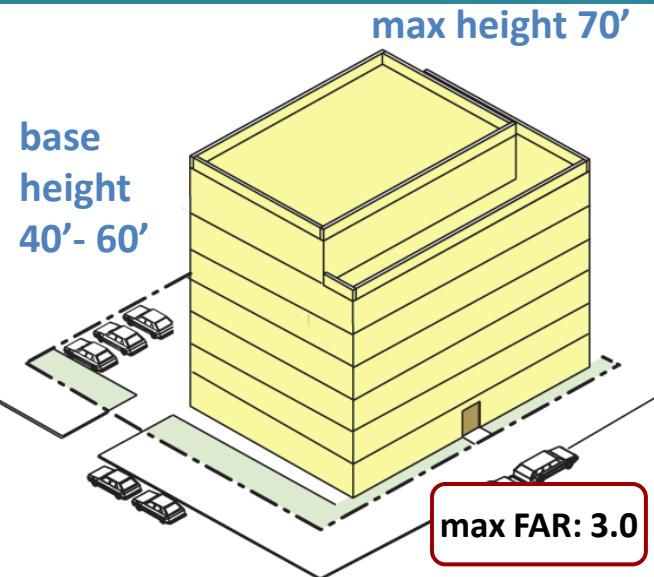


R6 Height Factor building on Classon Avenue



Existing Zoning:

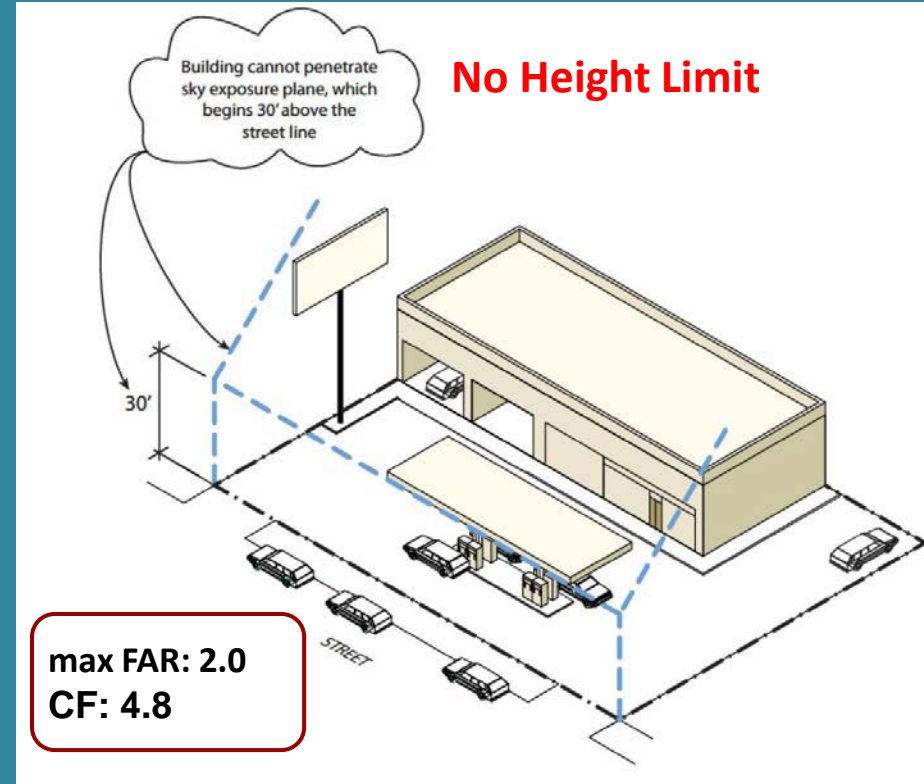
R6, R7-1 : Optional Quality Housing & Height Factor



Existing Zoning: C8-2



Gas Station at Bedford Avenue



Proposed Zoning

The Proposed Rezoning

Goals :

- Maintain the existing scale and character of the neighborhood

Proposal :

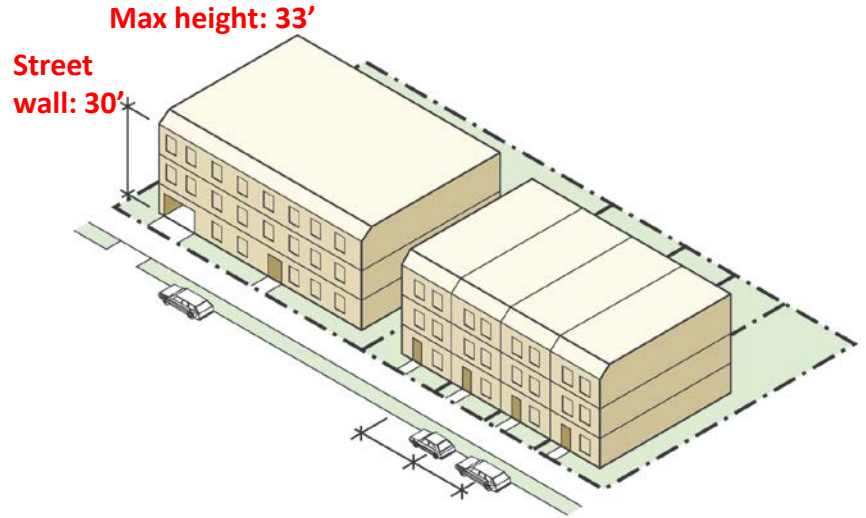
- Establishes **height limits** for the entire rezoning area that would facilitate context sensitive development

Proposed Zoning Districts – R6 to R5B

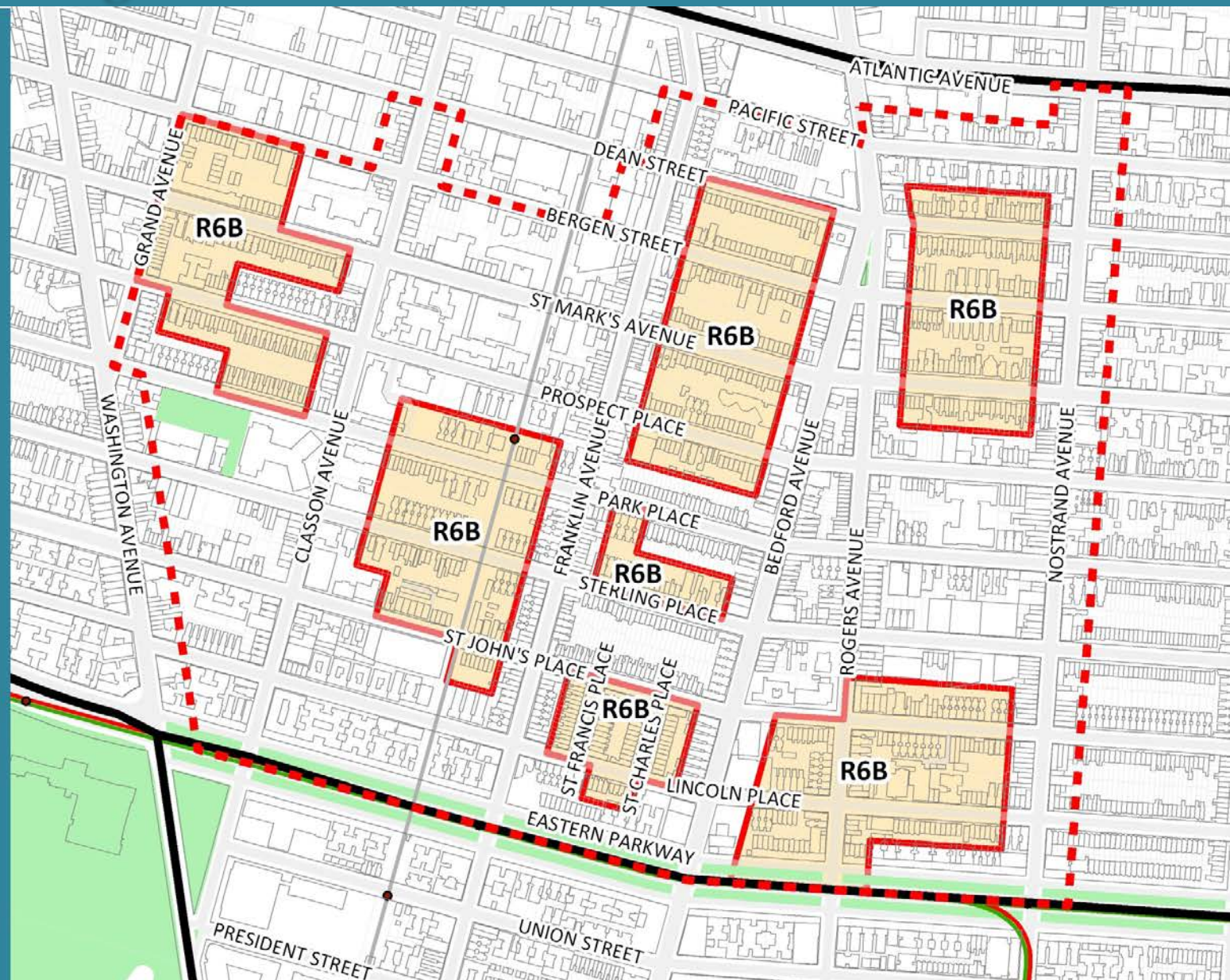


Overview of Proposed Zoning Districts – R5B

- Max. FAR: 1.35
- Max. Height/Street Wall: 33'/30'
- Yard Requirements
- No curb cuts on narrow lots less than 40'
- Parking required for 66% of units



Proposed Zoning Districts – R6, R7-1 to R6B



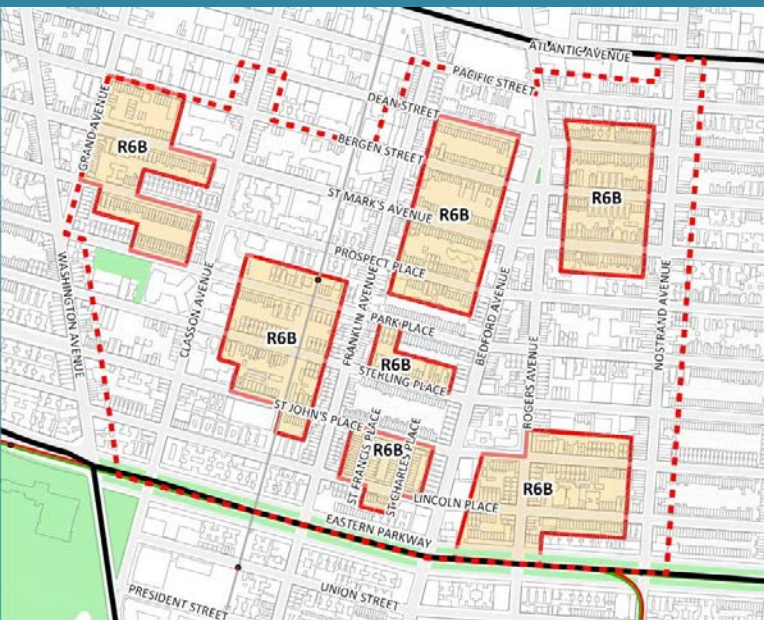
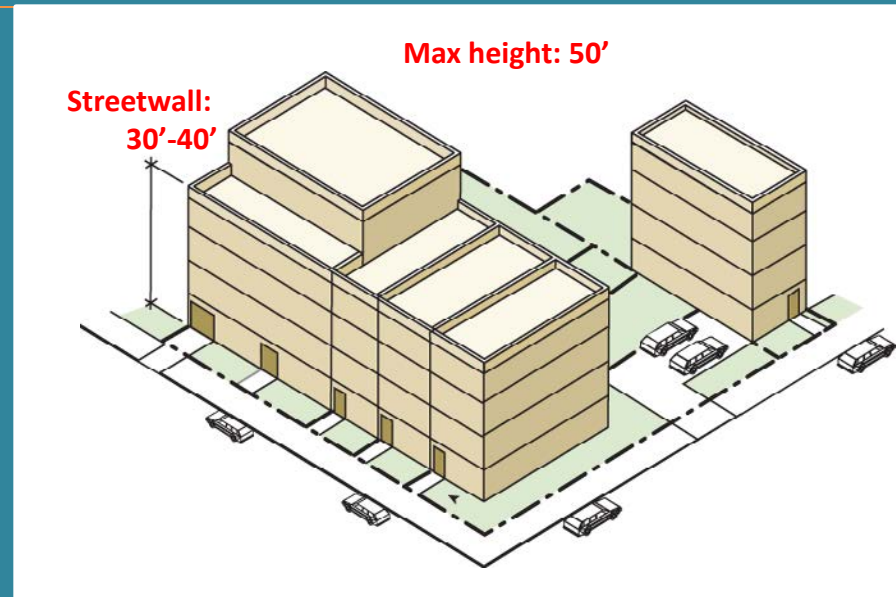
Legend

- Rezoning Area
- R5B
- R6B
- R6A
- R7A
- R7D

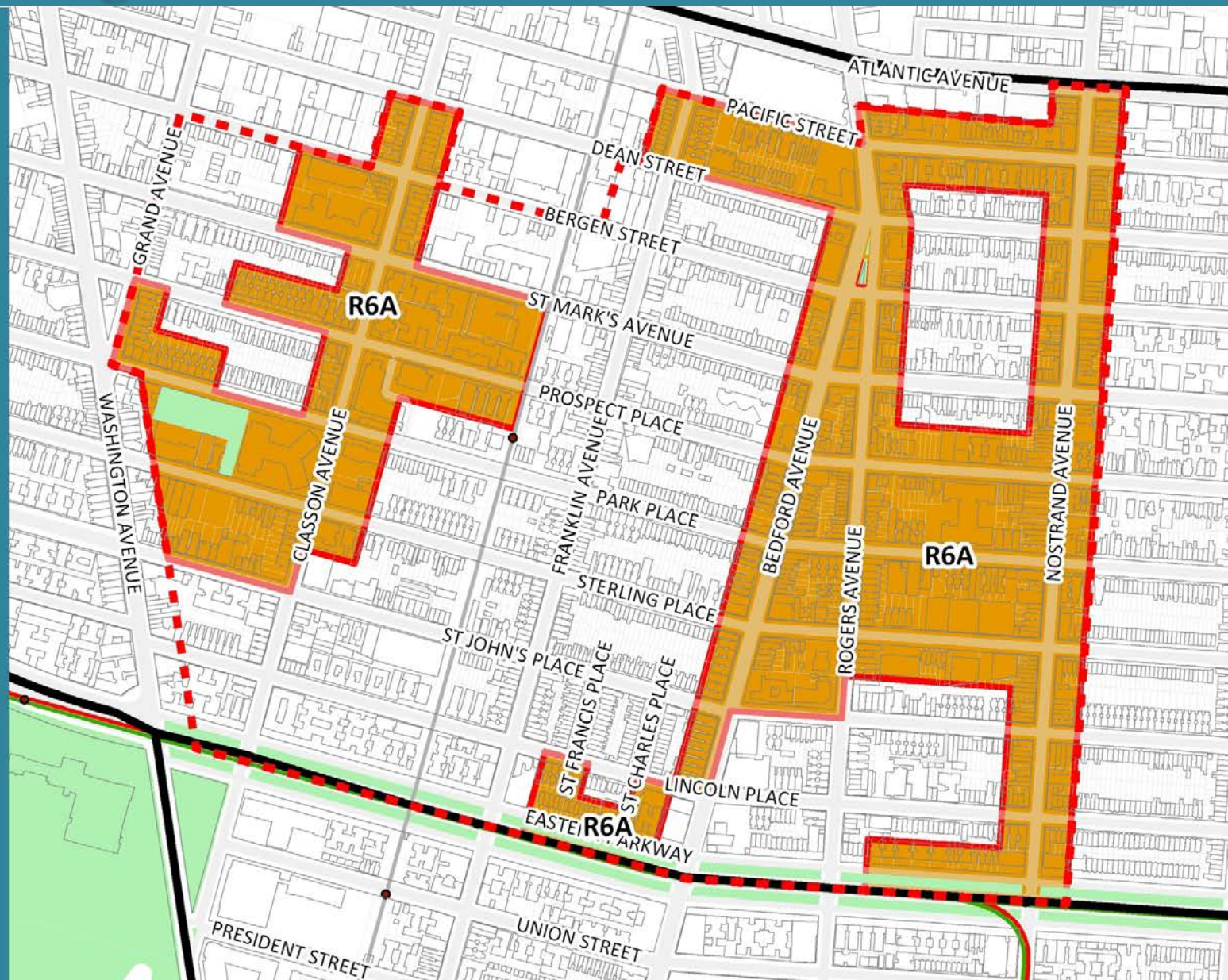
0 150 300 600
Feet

Overview of Proposed Zoning Districts – R6B

- Max. FAR: 2.0
- Min./Max. Base Height: 30' / 40'
- Max. Height: 50' after setback
- Must line up with street wall
- No curb cuts on narrow lots
- Parking required for 50% of units, waived if < 5 spaces required

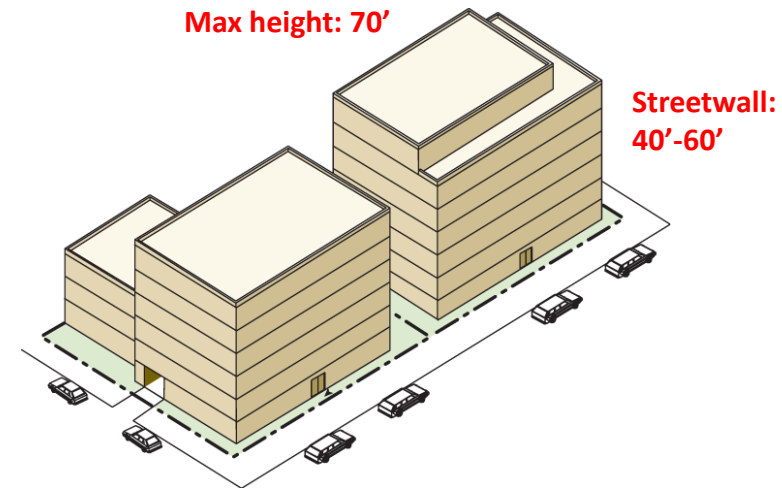


Proposed Zoning Districts – R6, R7-1 and C4-3 to R6A

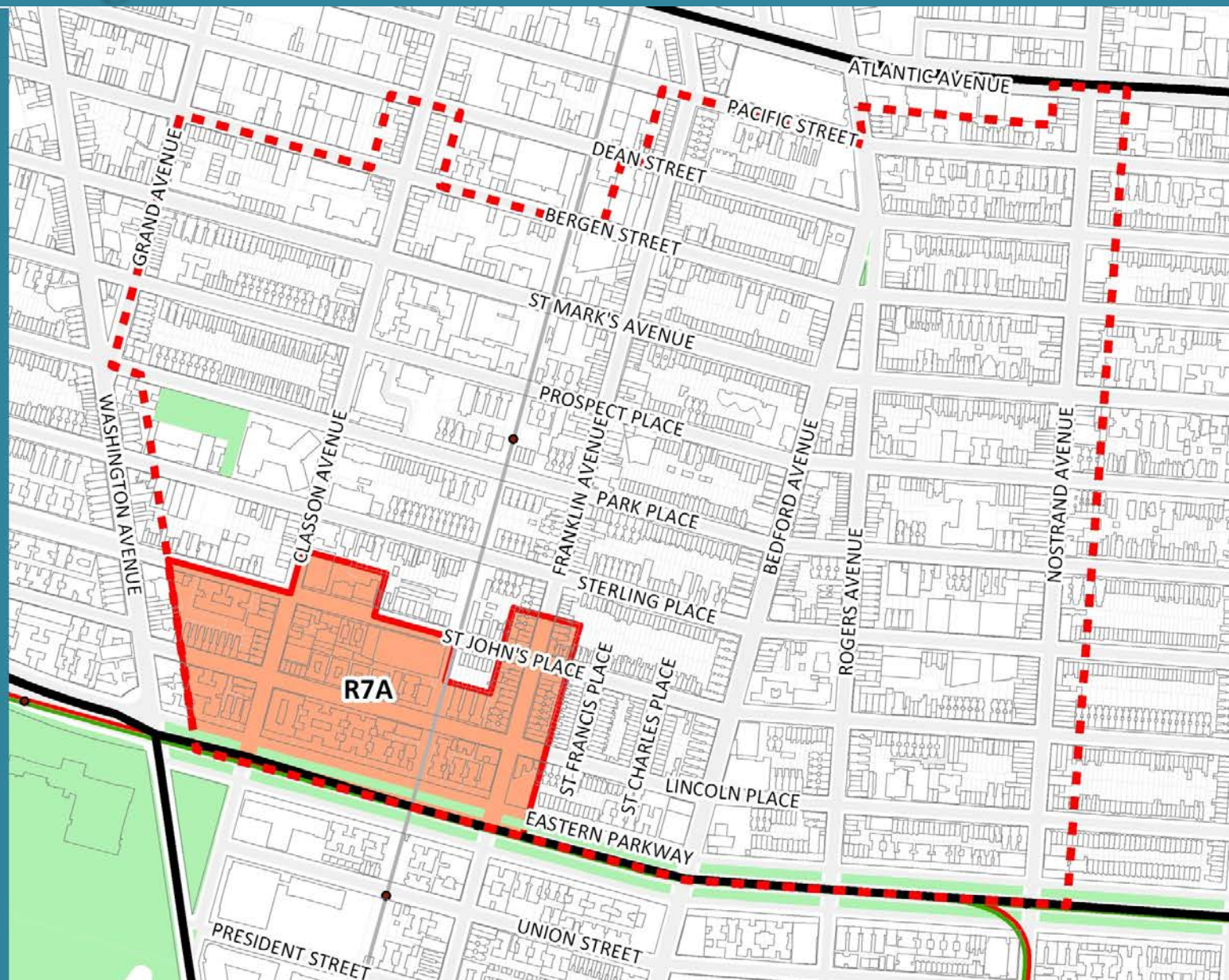


Overview of Proposed Zoning Districts – R6A

- Max. FAR: 3.0
- Min./Max. Base Height: 40' / 60'
- Max. Height: 70' after setback
- Must line up with street wall
- No curb cuts on narrow lots
- Parking required for 50% of units, waived if < 5 spaces required

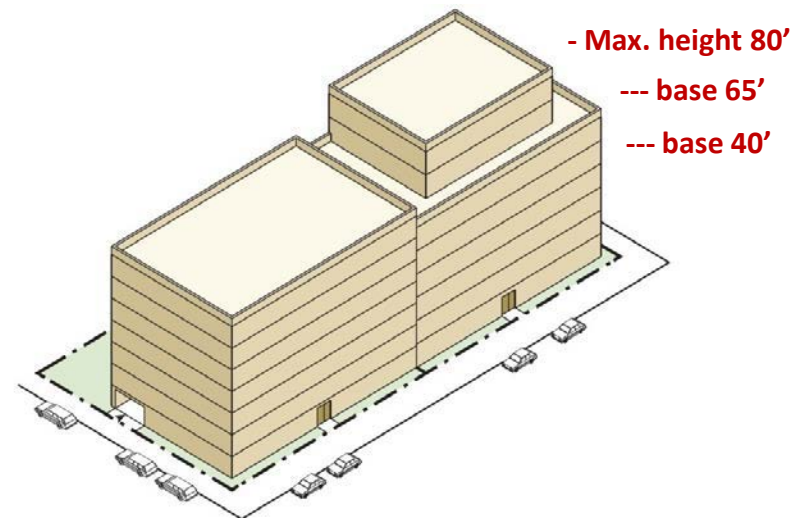


Proposed Zoning Districts -R7-1 to R7A



Overview of Proposed Zoning Districts – R7A

- Max. FAR: 4
- Min./Max. Base Height: 40' / 65'
- Max. Height: 80' after setback
- Must line up with street wall
- No curb cuts on narrow lots
- Parking required for 50% of units, waived if <15 spaces required

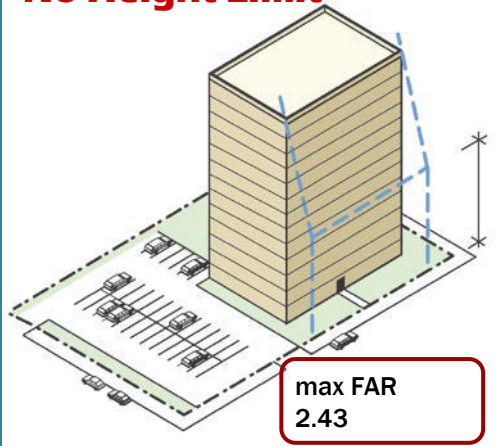


Overview of Proposed Zoning Districts

R6 Height Factor

Available in R6 district

No Height Limit



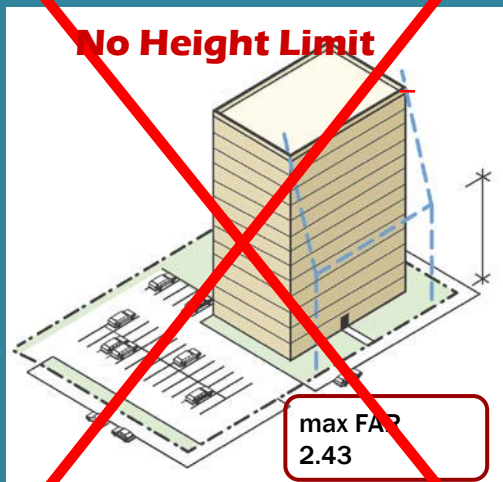
Existing Zoning

Overview of Proposed Zoning Districts

Existing Zoning

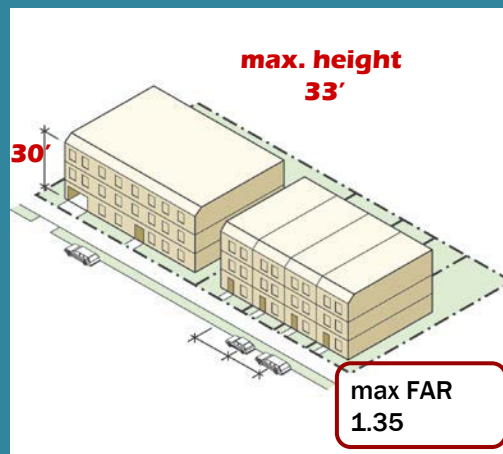
R6 Height Factor

Available in R6 district



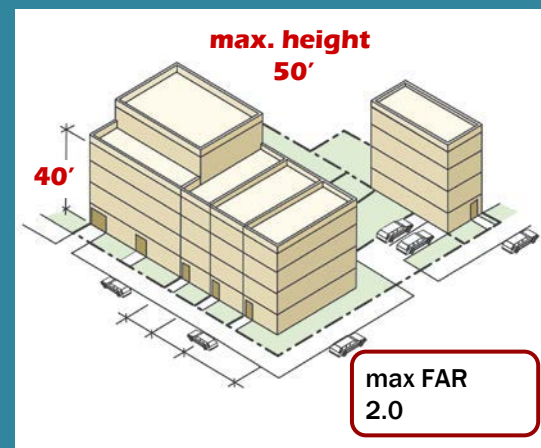
R5B

Proposed for low-scale rowhouse blocks



R6B

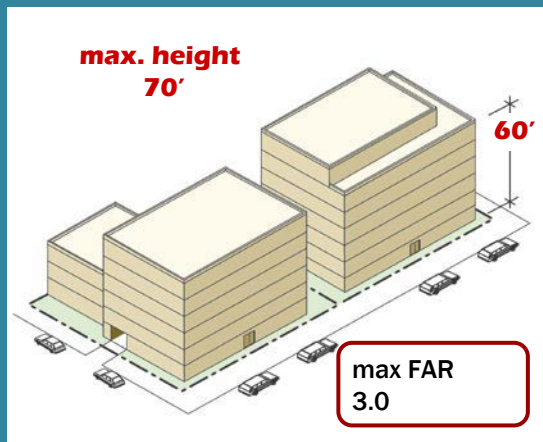
Proposed for rowhouse and apartment blocks



Proposed Zoning

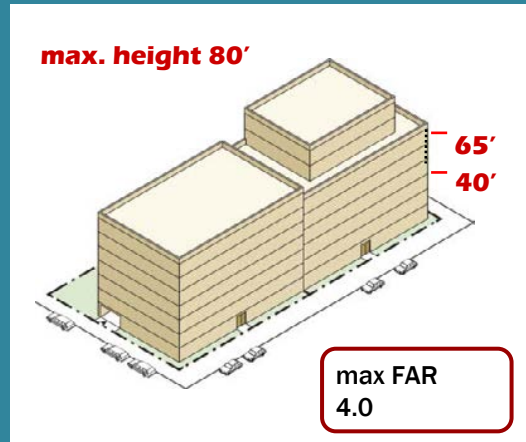
R6A

Proposed for denser areas, avenues and mixed-use blocks



R7A

Proposed for denser areas and avenues

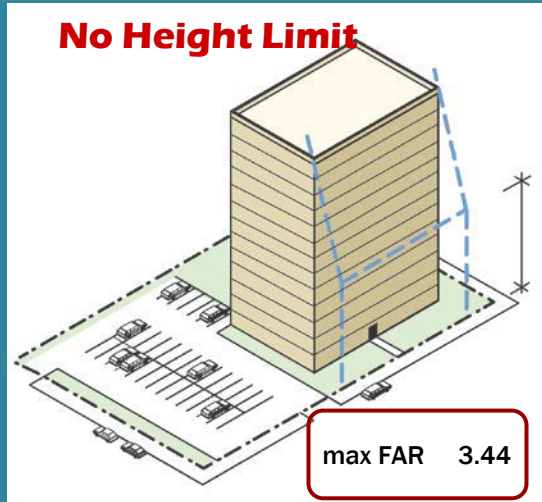


Overview of Proposed Zoning Districts

R7-1 Height Factor

Available in R6 district

Existing Zoning

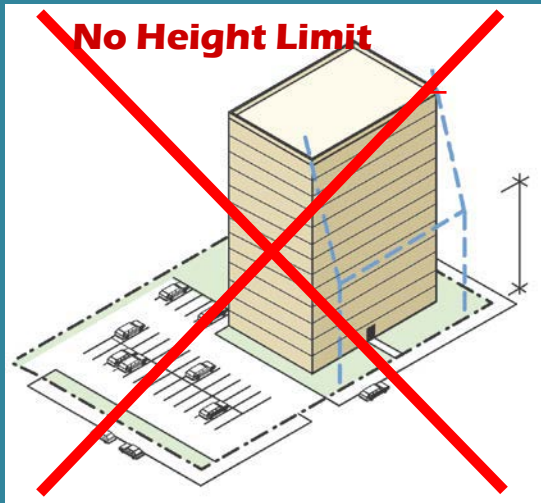


Overview of Proposed Zoning Districts

Existing Zoning

R7-1 Height Factor

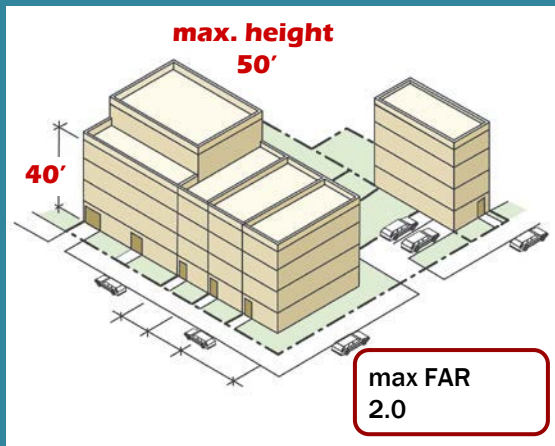
Available in R6 district



Proposed Zoning

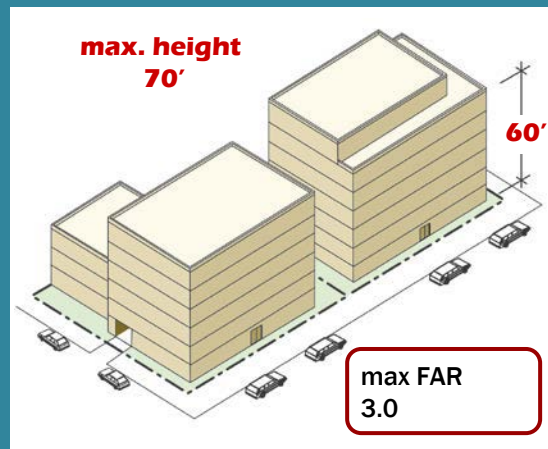
R6B

Proposed for lower scale rowhouse and apartment blocks



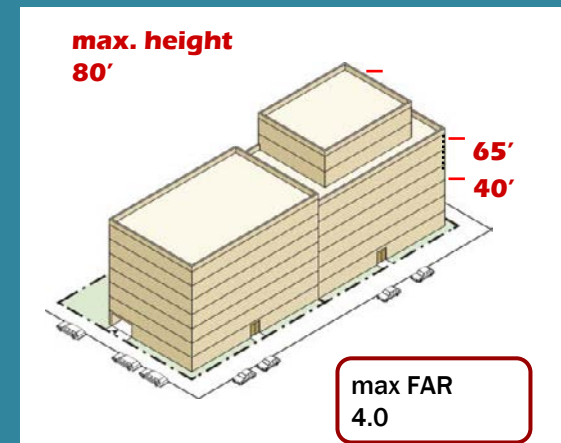
R6A

Proposed for denser areas and mixed-use blocks



R7A

Proposed for existing R7-1 and along Franklin Avenue



The Proposed Rezoning

Goals :

- Maintain the existing scale and character of the neighborhood
- Create incentives for development of affordable housing

Proposal :

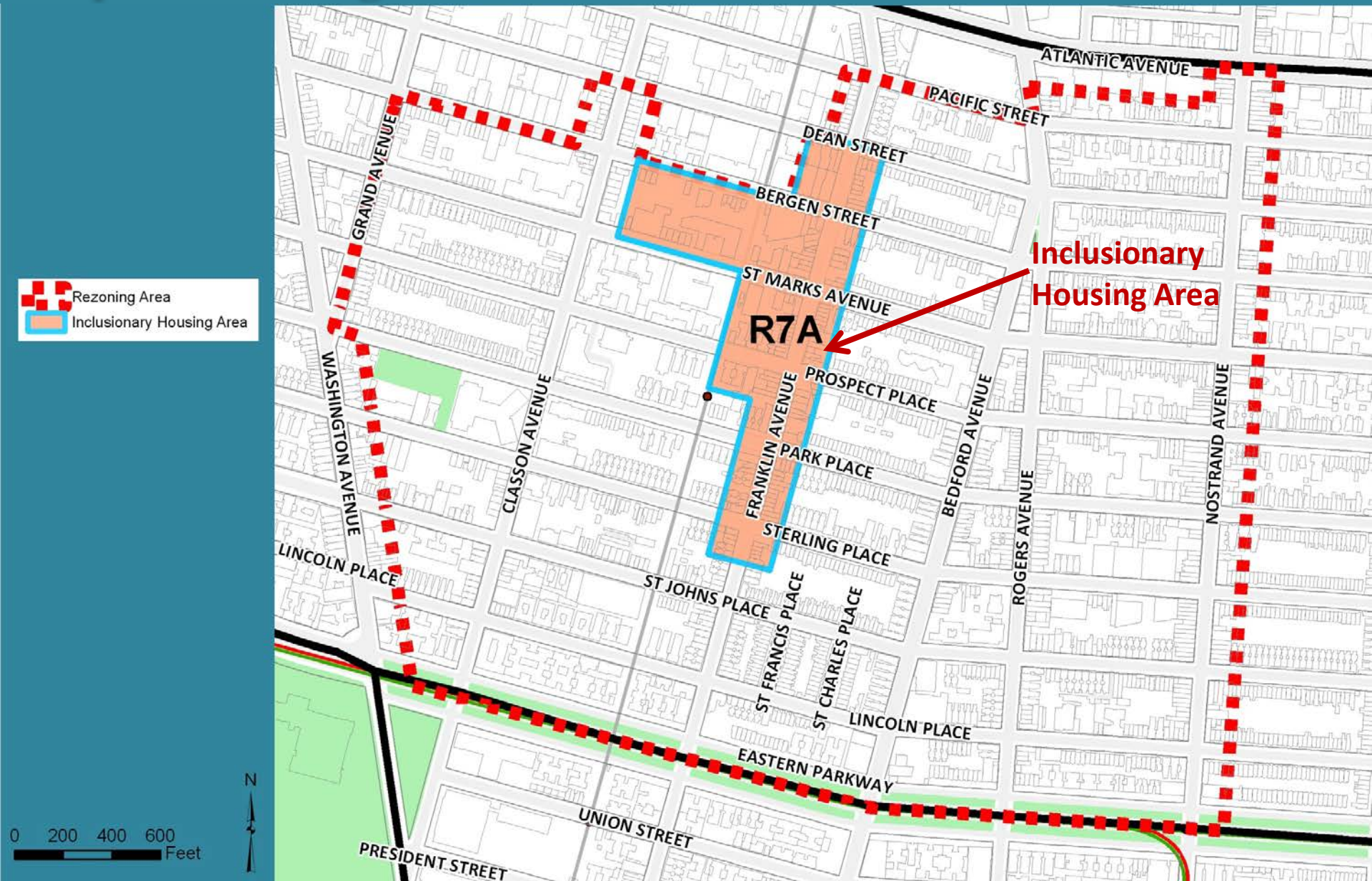
- Establishes **height limits** for the entire rezoning area that would facilitate context sensitive development
- Identifies areas that can accommodate modest growth for application of **Inclusionary Housing Program**

Incentives for Affordable Housing

In exchange for 33% Floor Area bonus,

- 20% of the floor area must be set aside as affordable units
- Affordable to Households earning at or below 80% of the Area Median Income
- Units are permanently affordable

Proposed Zoning Districts -R7-1 to R7A



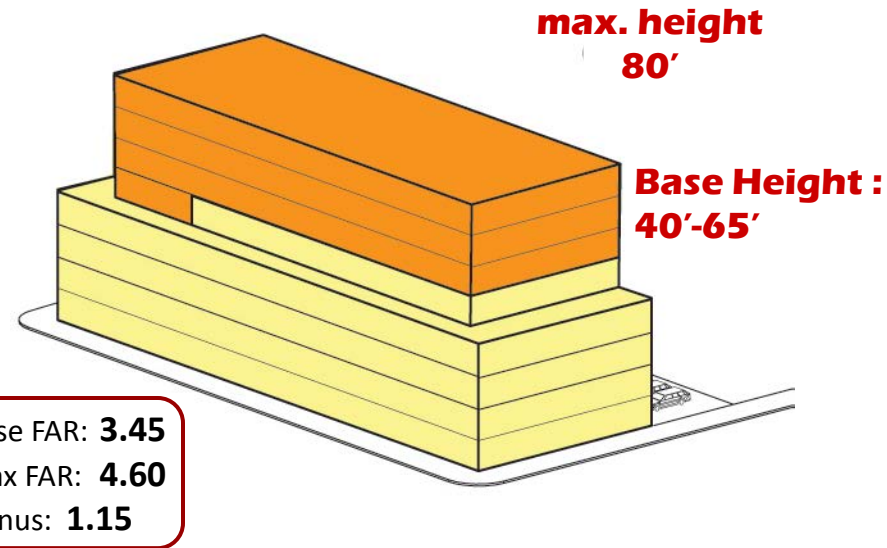
Existing Character of Franklin Avenue



Crown Heights West Rezoning

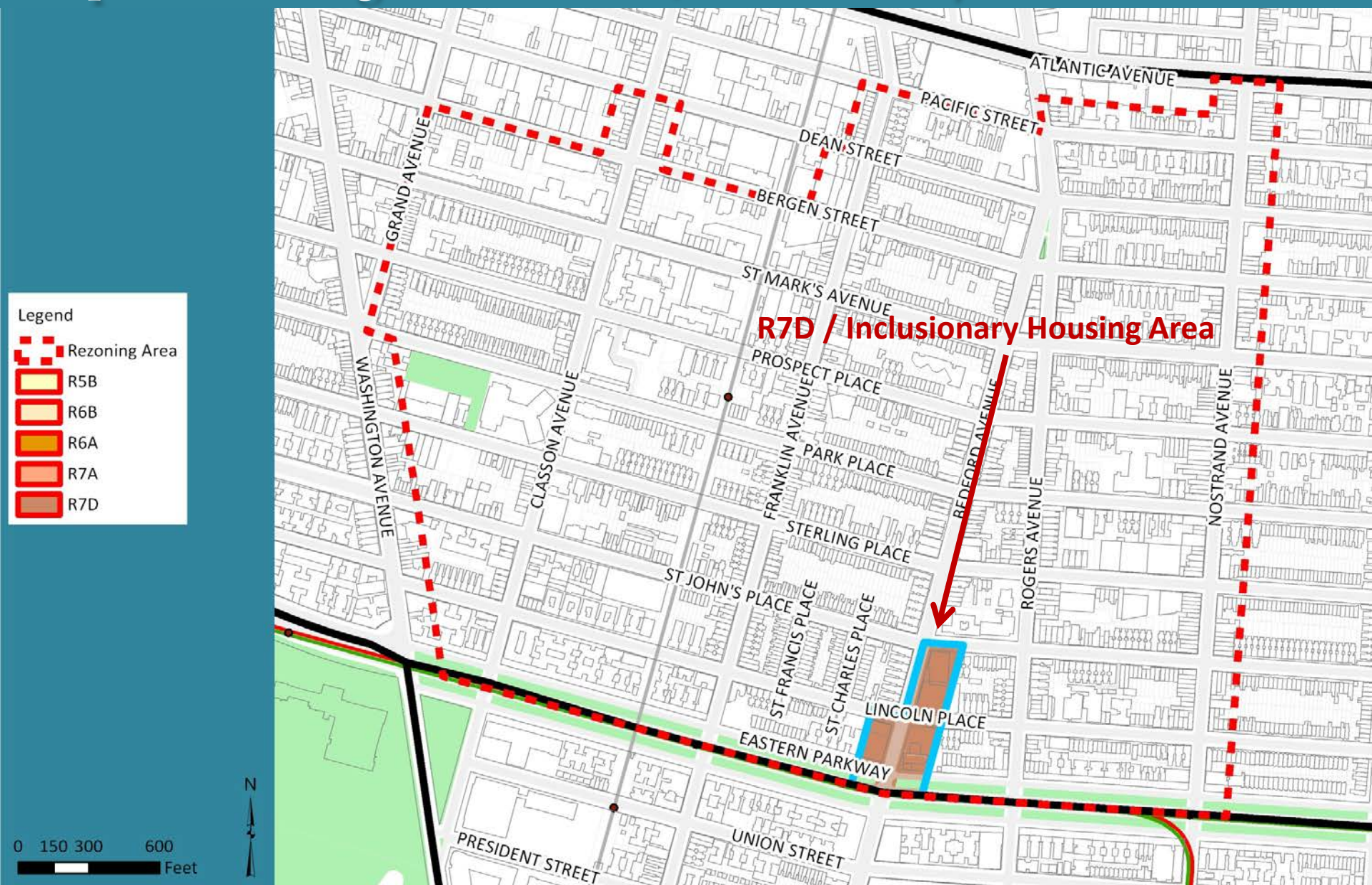
Overview of Proposed Zoning Districts – R7A/IZ

- Max. FAR: 3.45/4.6
- Min./Max. Base Height: 40' / 65'
- Max. Height: 80' after setback
- Must line up with street wall
- No curb cuts on narrow lots
- Parking required for 50% of units, waived if <15 spaces required



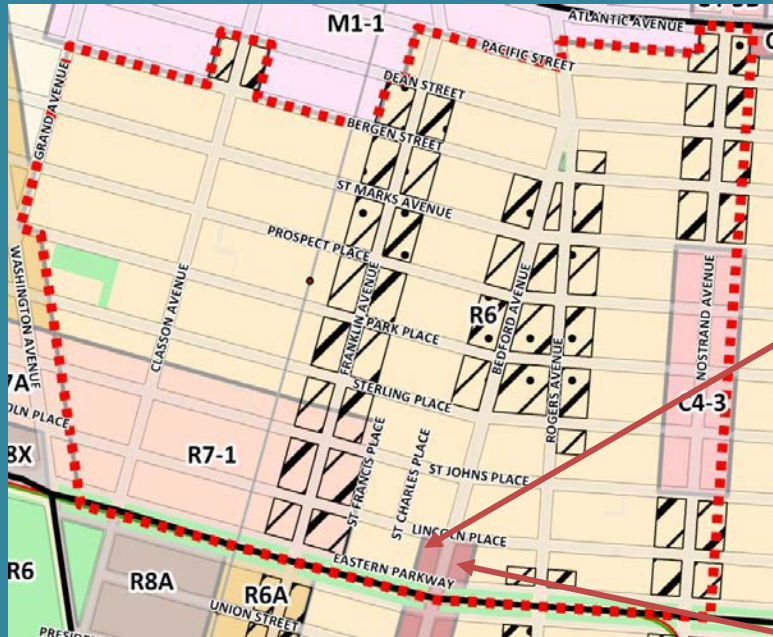
- Max. FAR: 3.45/4.6
- Min./Max. Base Height: 40' / 65'
- Max. Height: 80' after setback
- Must line up with street wall
- No curb cuts on narrow lots
- Parking required for 50% of units,
waived if <15 spaces required

Proposed Zoning Districts – R6, C8-2 to R7D/IZ



Existing Character

C8-2 Commercial District at intersection of Bedford Ave. and Eastern Pkwy.



Crown Heights West Rezoning

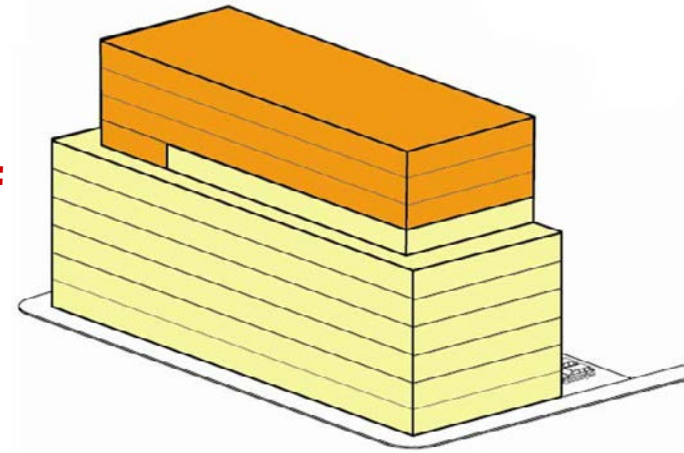
Overview of Proposed Zoning Districts – R7D/IZ

- Max. FAR: 4.2/5.6
- Min./Max. Base Height: 60' / 85'
- Max. Height: 100' after setback
- Must line up with street wall
- No curb cuts on narrow lots
- Parking required for 50% of units, waived if <15 spaces required

base FAR: **4.2**
max FAR: **5.60**
Bonus: **1.4**

Base Height :
60'-85'

max. height
100'



Bedford Avenue

Inclusionary Housing Designated Areas



The Proposed Rezoning

Goals :

- Maintain the existing scale and character of the neighborhood
- Create incentives for development of affordable housing
- Match commercial zoning to retail character

Proposal :

- Establishes height limits for the entire rezoning area that would facilitate context sensitive development
- Identifies areas that can accommodate modest growth for application of Inclusionary Housing Program
- Updates existing commercial zoning to **match underlying land use** and lot configuration

Existing Commercial Overlays



Crown Heights West Rezoning

Commercial Overlays

Existing Overlay – 150' deep



Rowhouses

Proposed Overlay – 50'-100' deep



Rowhouses

Proposed Commercial Overlays



Replacing C4-3 with C2-4 Commercial Overlay

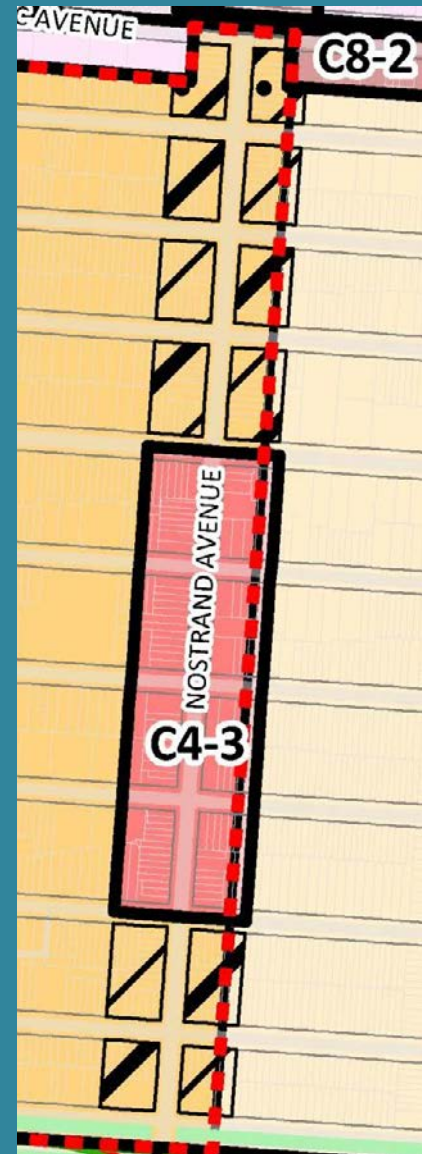
With C1-3 Commercial Overlay



With C4-3 Commercial District



Existing Zoning



Commercial Overlays



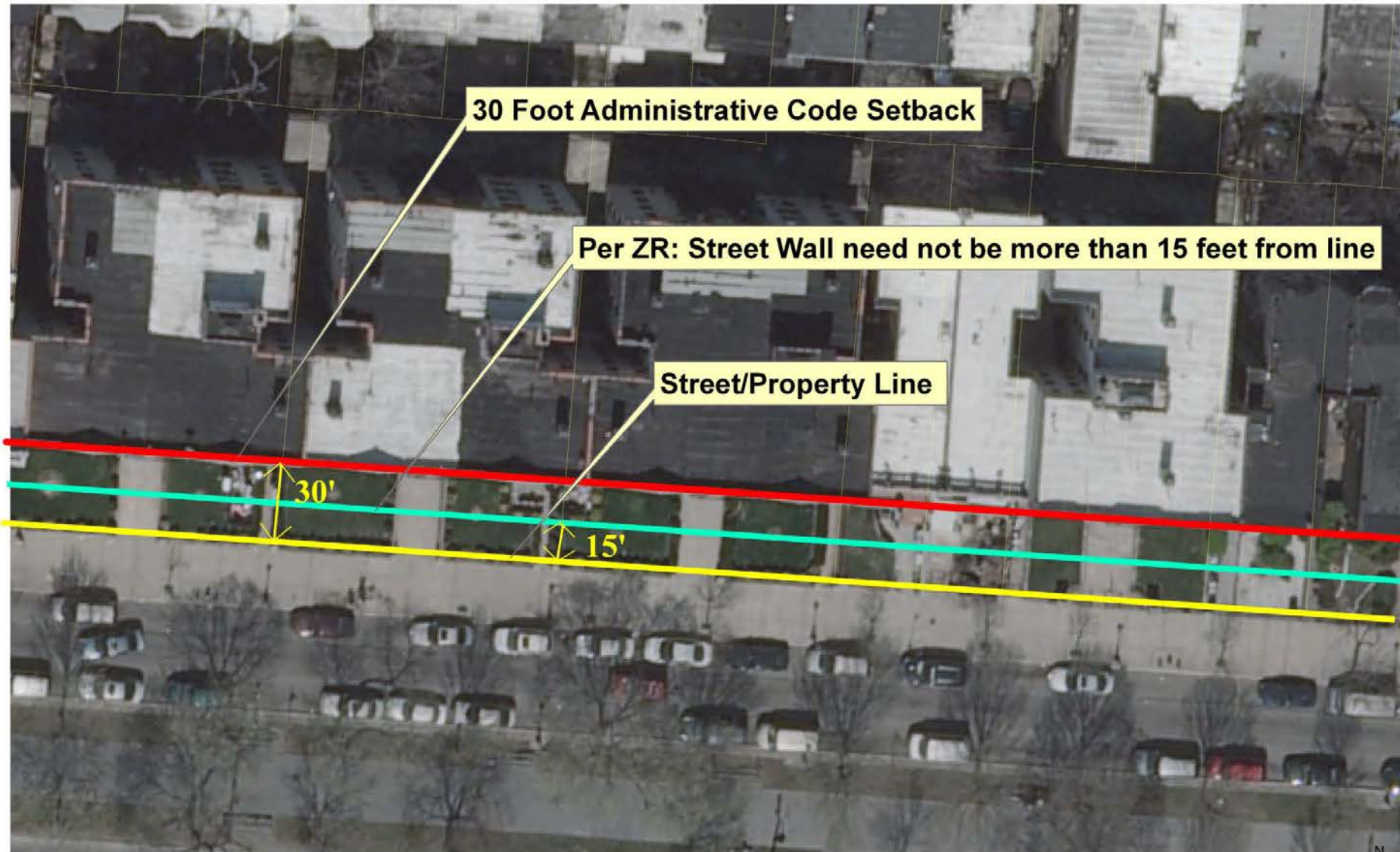
Crown Heights Rezoning

Text Amendment along Eastern Parkway



Crown Heights West Rezoning

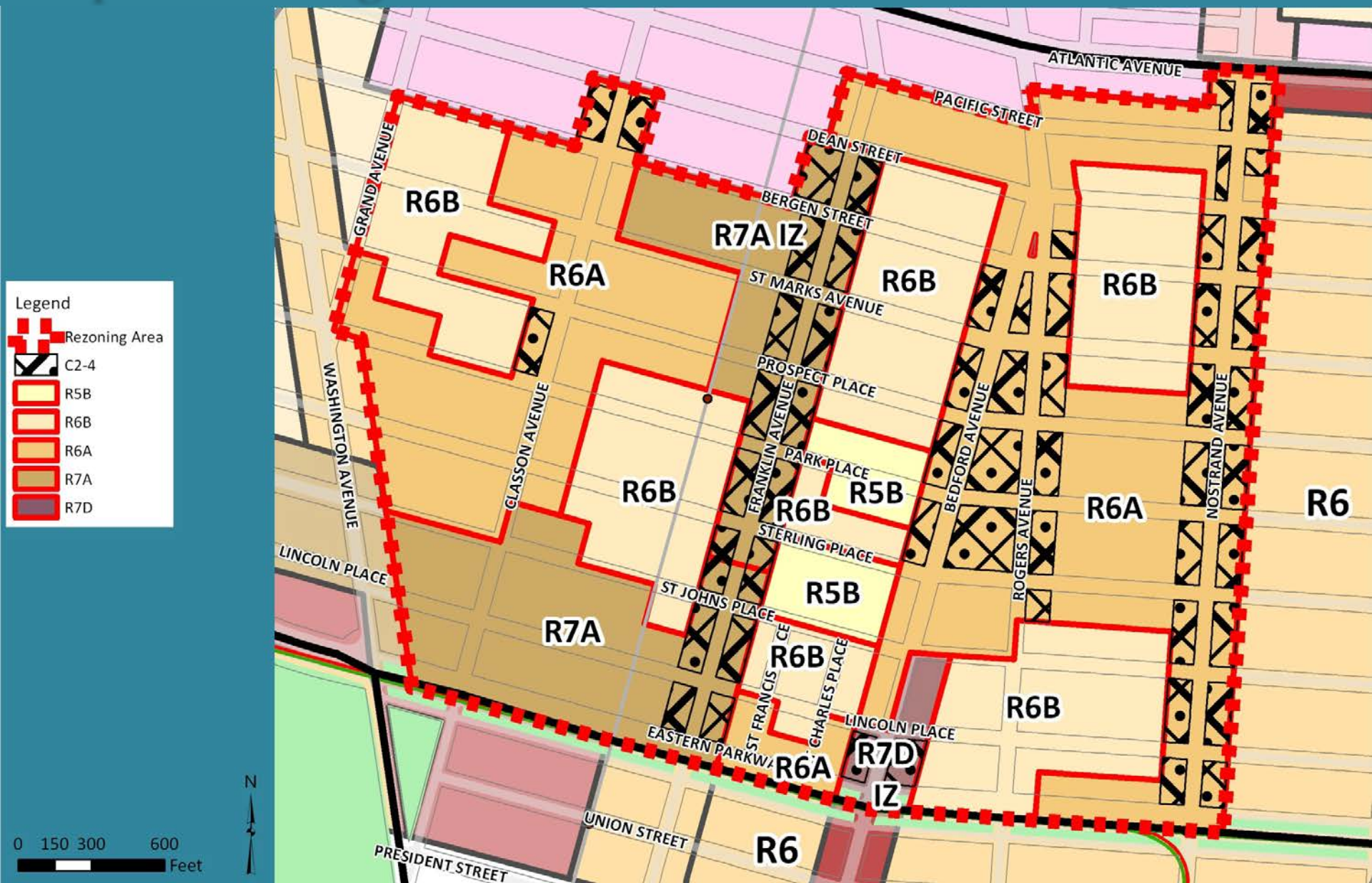
Text Amendment along Eastern Parkway



*Orthophoto Base Map Copyrighted by the New York City Department of Information Technology and Telecommunications. All rights reserved.



Proposed Zoning Districts Overview

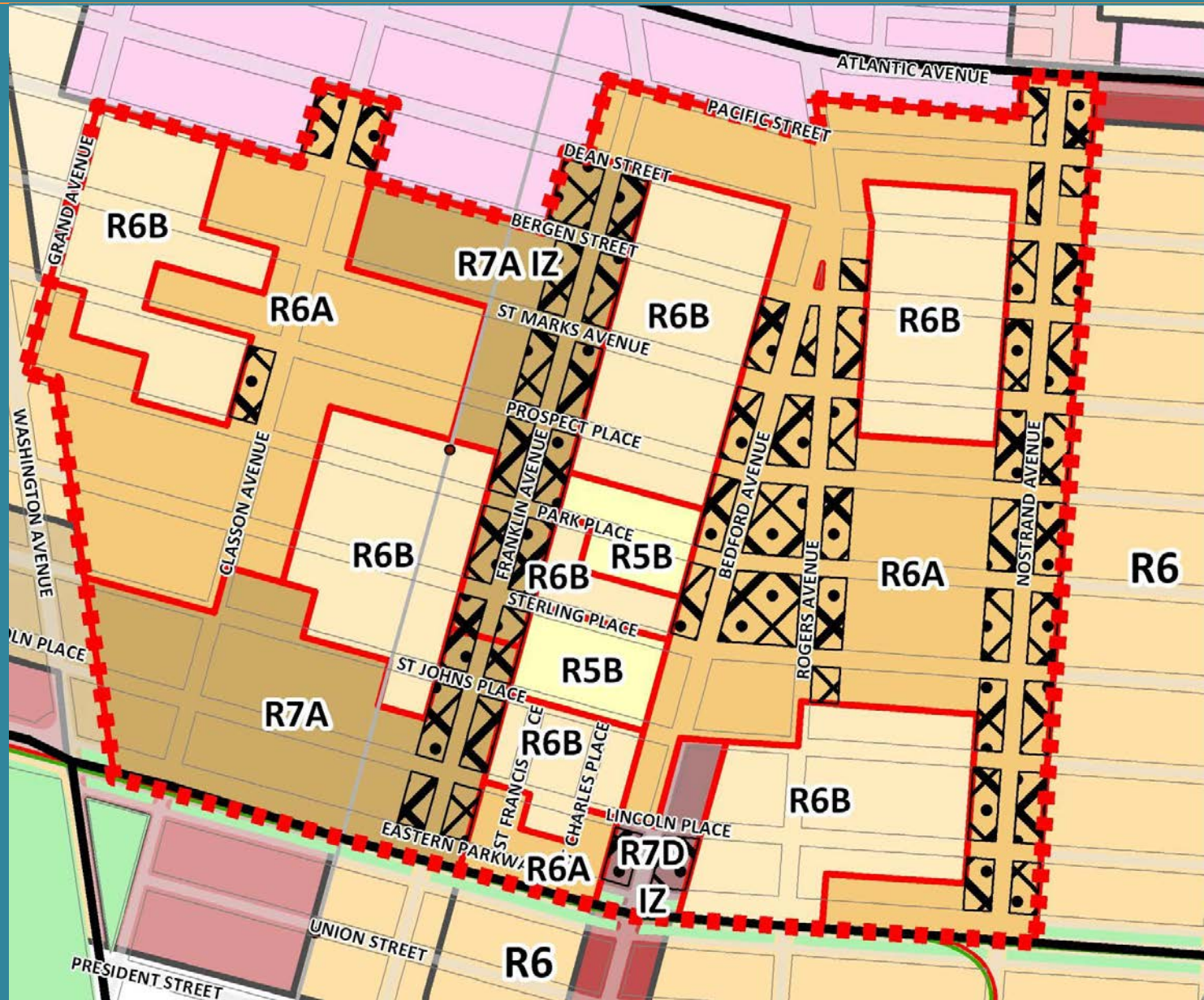


Study Goals and Rezoning Proposal

Protect the existing scale and character

Create incentives for affordable housing

Match zoning to better reflect the retail character



Crown Heights West Rezoning Study

